

# - 4822 Meadow Lane -

## Residence



Lot 9, Block 7, Bighorn  
Vail, Colorado

ISSUE D - Building Permit  
July 12, 2019

**RAL** architects, inc  
Architecture • Planning • Interior Design



# GENERAL NOTES

ALL WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS MODIFIED BY TOWN OF VAIL, COLORADO LOCAL STATUTES.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY SUCH WORK SO INVOLVED.

DO NOT SCALE DRAWINGS.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO COMMENCEMENT OF ANY WORK AND NOTE ANY DISCREPANCIES TO ARCHITECT.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES ASSOCIATED WITH THE WORK REQUIRED TO COMPLETE THIS PROJECT.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED AND INSTALLED BY SUBCONTRACTORS.

THE ARCHITECT SHALL BE CONTACTED DURING THE CONSTRUCTION TO MAKE JOB SITE INSPECTIONS NECESSARY TO ENSURE THE ACTUAL FIELD CONDITIONS ARE CONSISTENT WITH THE DESIGN ASSUMPTIONS AND TO VERIFY THAT THE CONSTRUCTION IS PROCEEDING IN GENERAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR AND ALL RELATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF ANY NECESSARY MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO ACHIEVE THE DESIGN INTENT AS PORTRAYED ON THESE PLANS.

# ENERGY NOTES

ALL WORK SHALL COMPLY WITH THE 2018 RESIDENTIAL CODE, CHAPTER 11 ENERGY EFFICIENCY, PRESCRIPTIVE METHOD.

CLIMATE ZONE - 6B

COMPLIANCE IS DOCUMENTED IN THESE DRAWINGS AS FOLLOWS:  
 FLOOR SLAB (DETAIL 4/A5.4)  
 R-10 RIGID INSULATION, MINIMUM 4" DISTANCE  
 CRAWL SPACE: (DETAIL 3/A5.4)  
 R-15 CONTINUOUS  
 ABOVE GRADE WALLS: WOOD FRAME (DETAIL 1/A5.3)  
 CAVITY R-23 SPRAY FOAM, CONTINUOUS R-5 RIGID  
 ABOVE GRADE FLOORS: WOOD FRAME (DETAIL 4/A5.4)  
 CAVITY R-31 BATT  
 ROOF/CEILING RAFTERS (DETAIL 4/A5.3)  
 R-28 SPRAY FOAM + R-31 BLOWN-IN  
 WINDOWS (SEE SHEET A5.1)  
 U = 0.30

HEATING SYSTEM TO BE GAS FIRED BOILER AND IN-FLOOR RADIANT HEAT. PROGRAMMABLE THERMOSTATS SHALL BE PROVIDED FOR EACH ZONE. EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH N1103.7.

EXTERIOR SNOW MELT SHALL COMPLY WITH N1103.9

LIGHTING FIXTURES SHALL COMPLY WITH N1104.

# DRAWING LIST

- ARCHITECTURAL**
- A0.0 General Information Sheet Survey
  - A0.1 Architectural Site Plan
  - A0.2 Site Coverage Calculation
  - A0.3 Exterior Lighting Plan
  - A0.4 Steep Slope Analysis Calculation
  - A0.5 Construction Management Plan
  - A1.1 Level 00 Floor Plan
  - A1.2 Level 01 Floor Plan
  - A1.3 Level 02 Floor Plan
  - A1.4 Level 03 Floor Plan
  - A1.5 Roof Plan
  - A1.6 GRFA Calculation
  - A1.7 GRFA Basement Calculation
  - A1.8 Building Height Calculation
  - A2.1 Exterior Elevations
  - A2.2 Exterior Elevations
  - A2.3 Exterior Elevations
  - A3.1 Longitudinal Sections
  - A3.2 Longitudinal Sections
  - A3.3 Cross Sections
  - A3.4 Cross Sections
  - A5.1 Window Schedule
  - A5.2 Door Schedule and Enlarged Plans
  - A5.3 Miscellaneous Details
  - A5.4 Miscellaneous Details
- STRUCTURAL**
- S1.1 Specifications
  - S2.1 Foundation
  - S2.2 Second Lvl Plan
  - S2.3 Third Lvl Plan
  - S2.4 Fourth Lvl Plan
  - S2.5 Roof Plan
  - S3.1 Fndn Details
  - S3.2 Fndn Details
  - S3.3 Frrmg Details
  - S3.4 Roof Details

# PROJECT DIRECTORY

**PROPERTY LEGAL DESCRIPTION**  
 New Duplex Residence  
 4822 Meadow Lane  
 Lot 9, Block 7, Bighorn  
 Vail, Colorado 81657  
 Eagle County  
 Parcel: 2101-131-04-008

**OWNER**  
 Nova Sherman LLC  
 6897 Paiute Ave  
 Suite 1  
 Niwot, CO 80503-7169

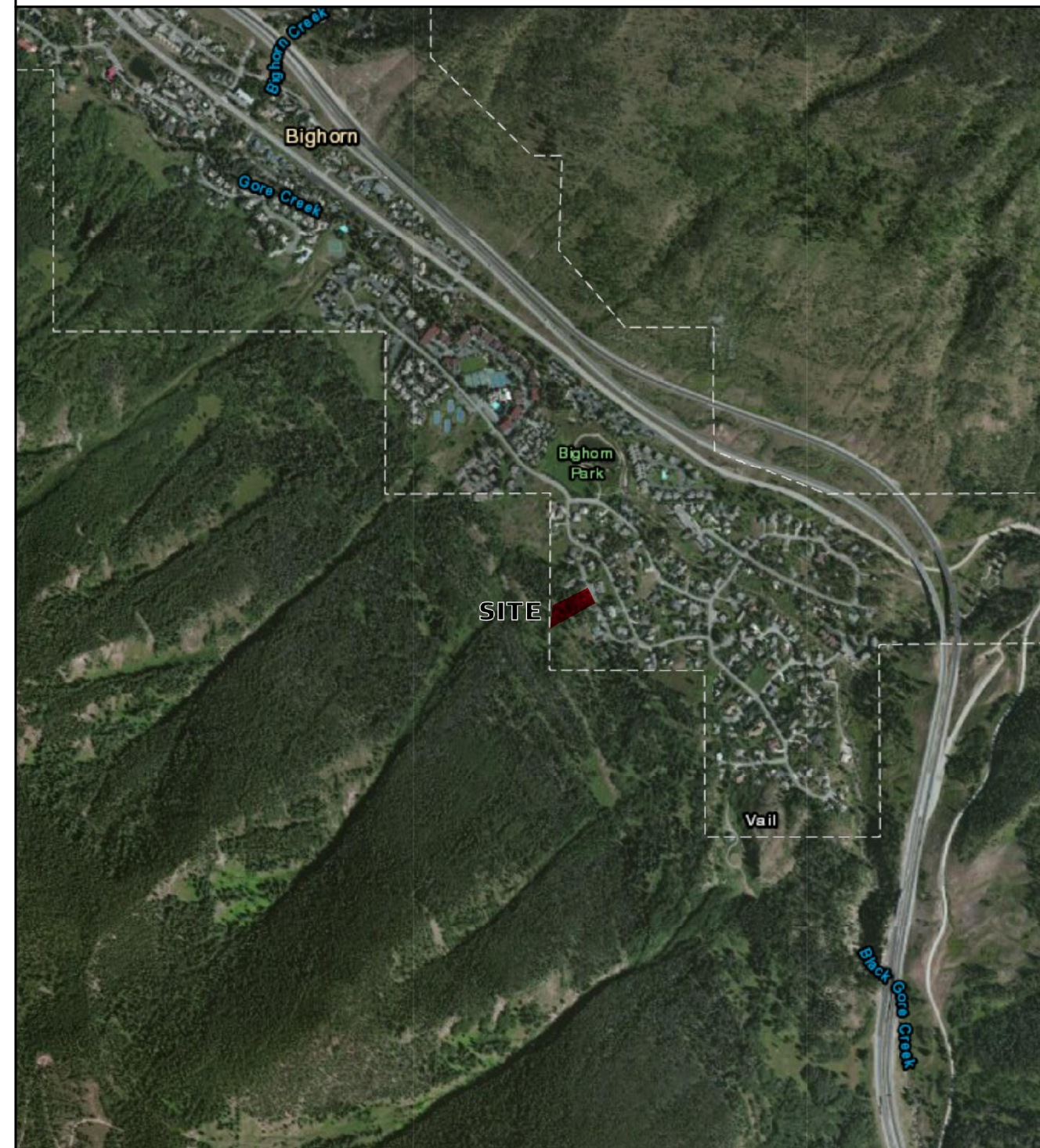
**ARCHITECT**  
 RAL Architects Inc  
 PO Box 1805  
 Edwards, CO 81632  
 970.376.4227  
 www.ralarch.com  
 Attention:  
 Bobby Ladd  
 bobbyl@ralarch.com

**STRUCTURAL ENGINEER**  
 BPSE Structural Designs  
 PO Box 8007  
 Avon, CO 8120  
 970.331.6740  
 www.bpse.net  
 Attention:  
 Brian Puppe  
 brian@bpse.net

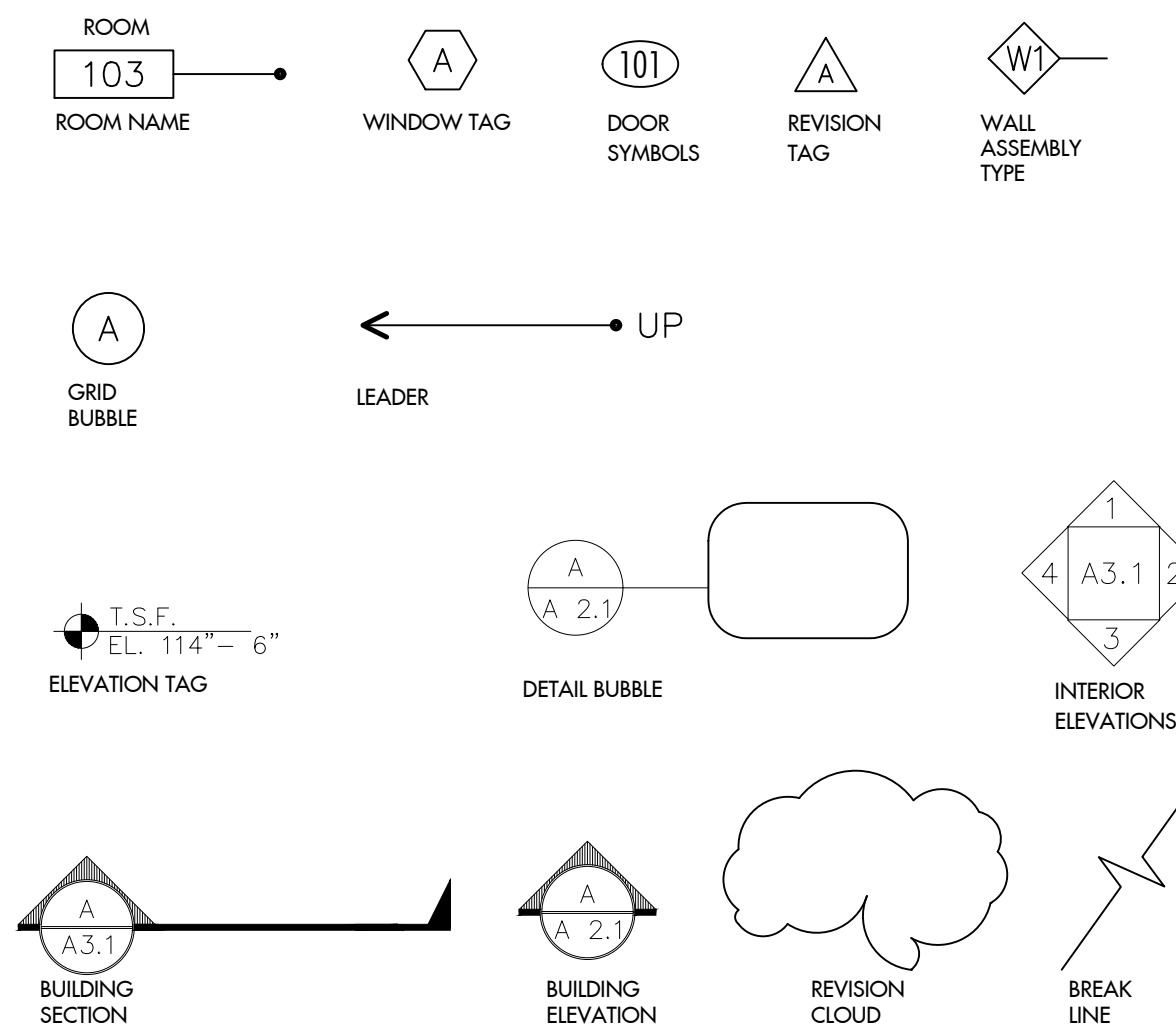
**SURVEYOR**  
 Peak Land Consultants  
 1000 Lions Ridge Loop Suite 1D  
 Vail, CO 81657  
 970.476.8644  
 Attention:  
 Brent Biggs  
 brent@peakland.net

**CONTRACTOR**  
 Concept 30 LLC  
 Edwards, CO 81632  
 Attention:  
 Bernie Weber  
 bweber@concept30.com

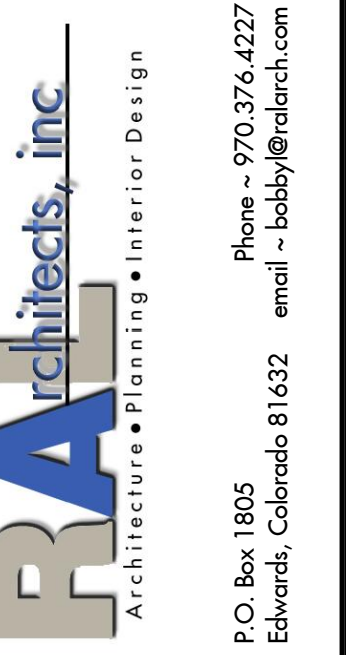
# VICINITY MAP



# GRAPHIC SYMBOLS



# ARCHITECT



# STRUCTURAL

# LANDSCAPE

# NOTES



# ISSUES

NO.	DESCRIPTION	DATE
A	TOV DRB Submittal	03.11.19
B	DRB Revisions	04.03.19
C	DRB Revisions	05.28.19
D	Building Permit	07.12.19

4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

General  
 Information  
 Sheet

PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	rdl
SCALE:	NTS

A 0.0

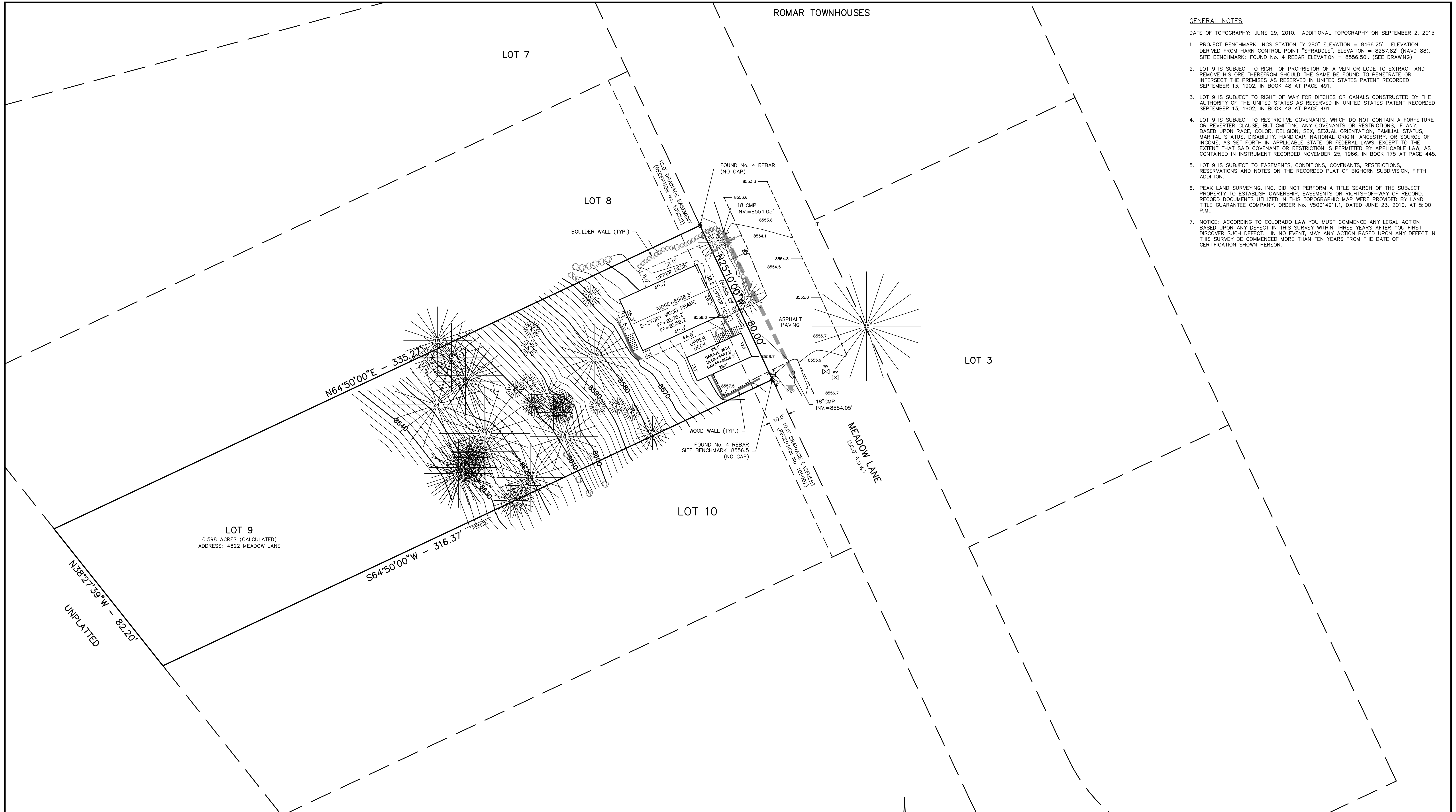
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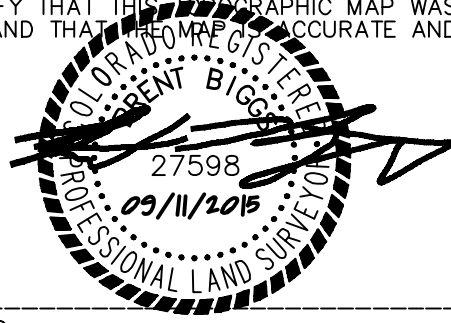
ROMAR TOWNHOUSES

GENERAL NOTES

- DATE OF TOPOGRAPHY: JUNE 29, 2010. ADDITIONAL TOPOGRAPHY ON SEPTEMBER 2, 2015
- PROJECT BENCHMARK: NGS STATION "Y 280" ELEVATION = 8466.25'. ELEVATION DERIVED FROM HORN CONTROL POINT "SPRADDLE", ELEVATION = 8287.82' (NAVD 88). SITE BENCHMARK: FOUND No. 4 REBAR ELEVATION = 8556.50'. (SEE DRAWING)
  - LOT 9 IS SUBJECT TO RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENT RECORDED SEPTEMBER 13, 1902, IN BOOK 48 AT PAGE 491.
  - LOT 9 IS SUBJECT TO RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENT RECORDED SEPTEMBER 13, 1902, IN BOOK 48 AT PAGE 491.
  - LOT 9 IS SUBJECT TO RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN INSTRUMENT RECORDED NOVEMBER 25, 1966, IN BOOK 175 AT PAGE 445.
  - LOT 9 IS SUBJECT TO EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT OF BIGHORN SUBDIVISION, FIFTH ADDITION.
  - PEAK LAND SURVEYING, INC. DID NOT PERFORM A TITLE SEARCH OF THE SUBJECT PROPERTY TO ESTABLISH OWNERSHIP, EASEMENTS OR RIGHTS-OF-WAY OF RECORD. RECORD DOCUMENTS UTILIZED IN THIS TOPOGRAPHIC MAP WERE PROVIDED BY LAND TITLE GUARANTEE COMPANY, ORDER No. V50014911.1, DATED JUNE 23, 2010, AT 5:00 P.M.
  - NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

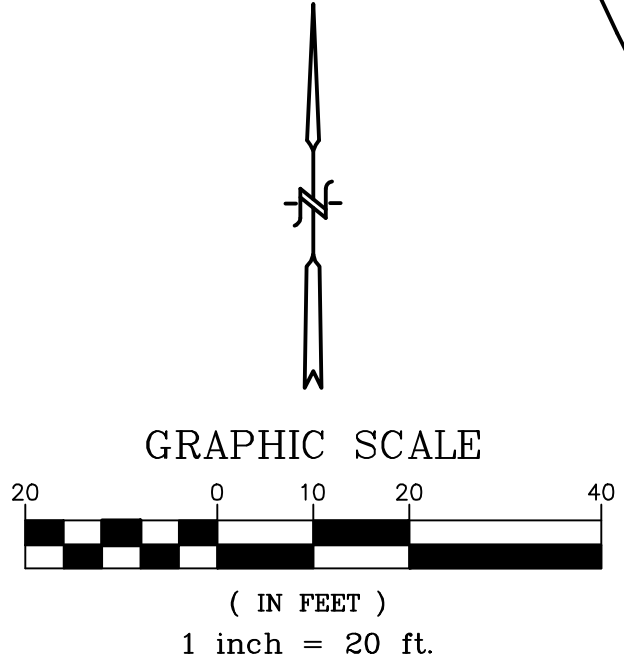


SURVEYOR'S CERTIFICATE  
I, BRENT BIGGS, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP WAS MADE BY ME AND UNDER MY SUPERVISION, AND THAT THE SAME IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



DATE: 09/11/2015

BRENT BIGGS  
COLORADO P.L.S. No. 27598  
FOR & ON BEHALF OF  
PEAK LAND CONSULTANTS, INC.

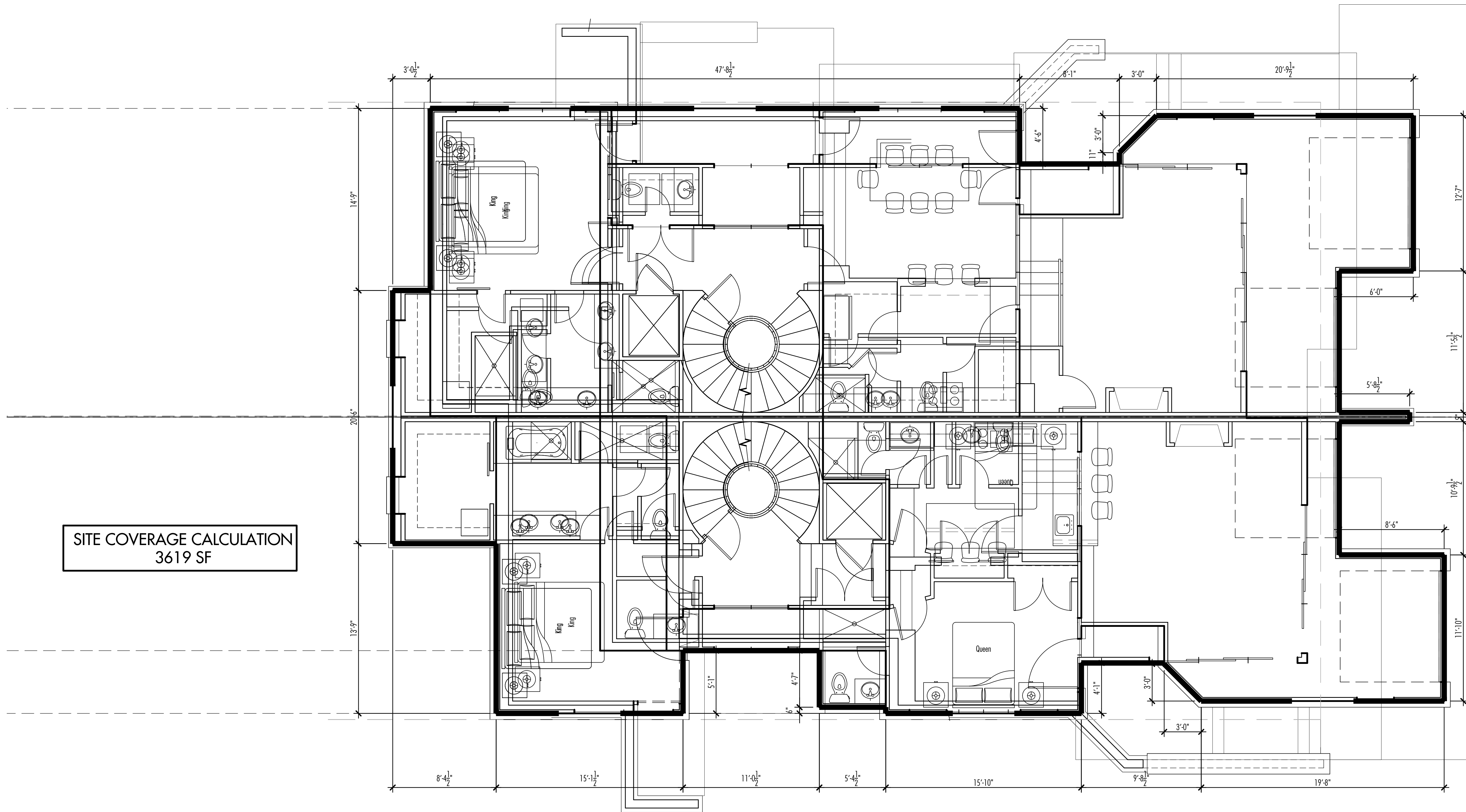


TOPOGRAPHIC MAP LOT 9, BLOCK 7, BIGHORN SUBDIVISION FIFTH ADDITION, TOWN OF VAIL, EAGLE COUNTY, COLORADO		
DRAWN: RDG	REVIEWED: BB	SHEET 1 of 1
DATE: 09/11/15	PLC JOB#: 1744	









SITE COVERAGE CALCULATION  
3619 SF

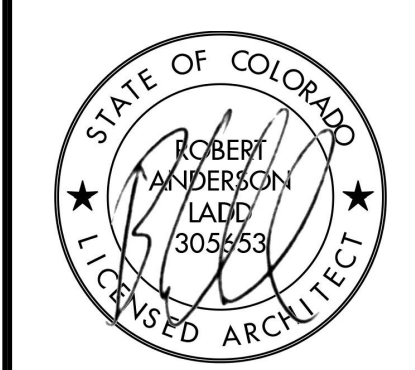
ARCHITECT

**RAI** architects, inc.  
Architecture • Planning • Interior Design  
Phone - 970.374.4227  
P.O. Box 1805  
Edwards, Colorado 81632 email - bobby@raich.com

STRUCTURAL

LANDSCAPE

NOTES



ISSUES

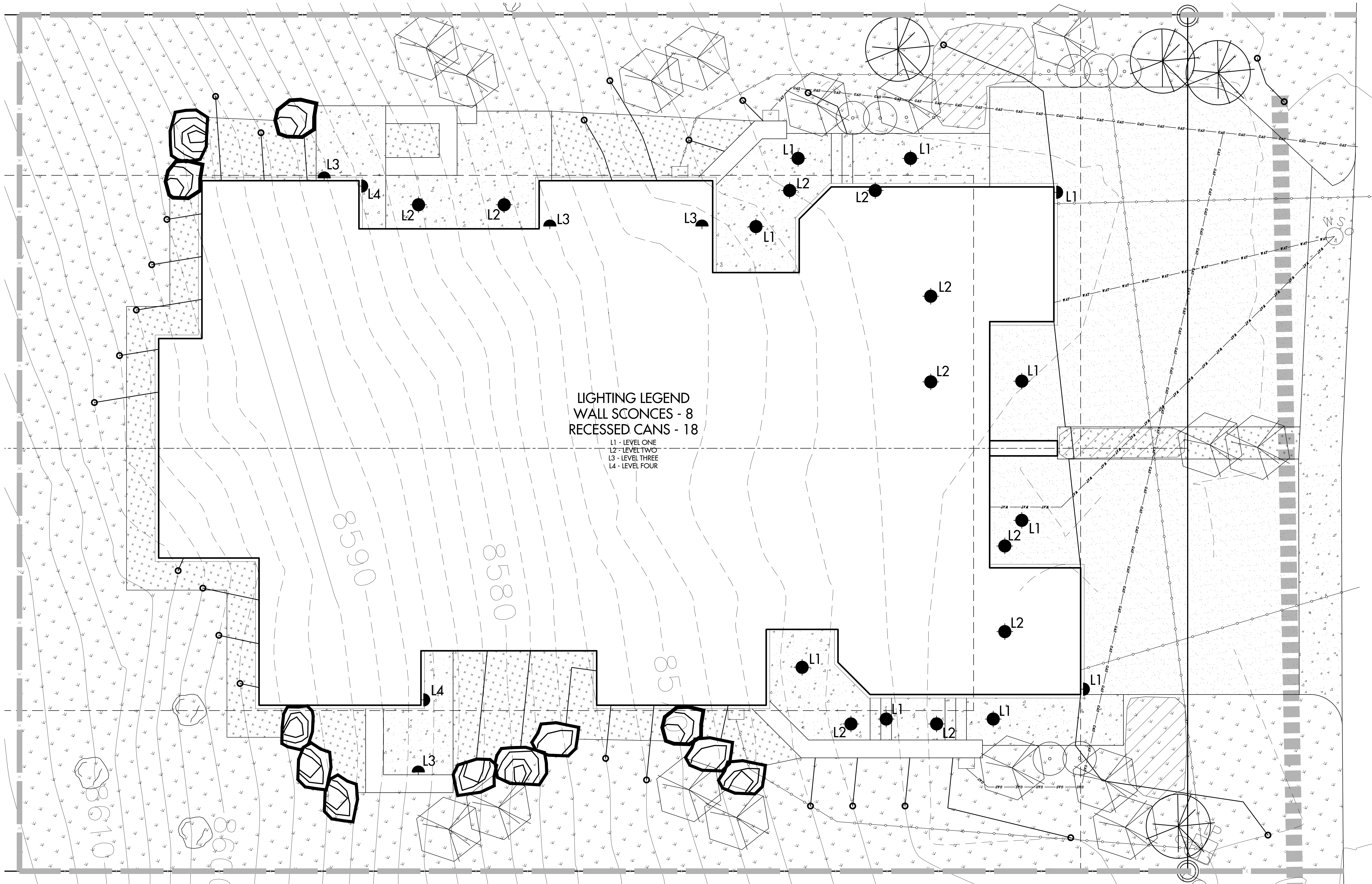
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4822 Meadow Lane  
Residence  
  
Lot 9, Block 7  
Bighorn  
Vail, CO

Site  
Coverage  
Calculation

PROJECT NO:	18-259	<b>A0.2</b>
DATE:	July 12, 2019	
DRAWN BY:	ral	
SCALE:	1/4" = 1'-0"	





LIGHTING LEGEND  
 WALL SCONCES - 8  
 RECESSED CANS - 18

L1 - LEVEL ONE  
 L2 - LEVEL TWO  
 L3 - LEVEL THREE  
 L4 - LEVEL FOUR

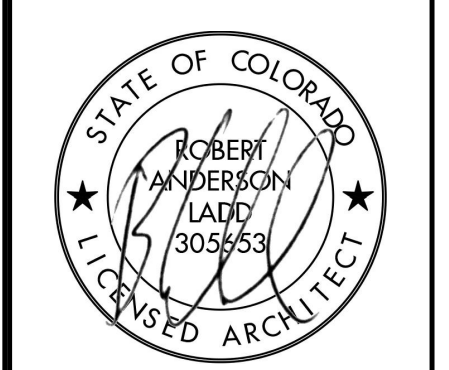
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 Residence  
 Lot 9, Block 7  
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 Vail, CO

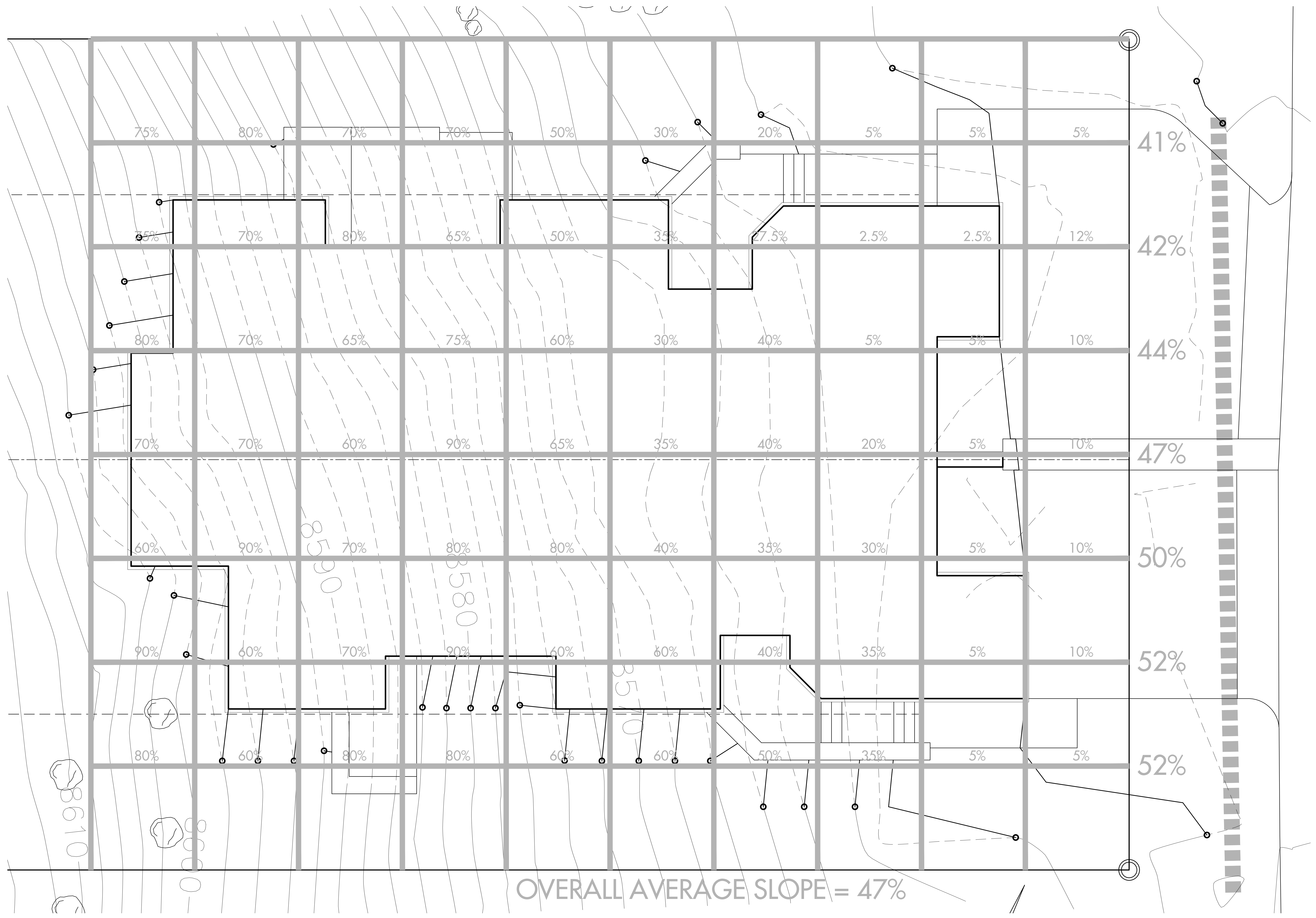
Exterior  
 Lighting  
 Plan

PROJECT NO: 18-259  
 DATE: July 12, 2019  
 DRAWN BY: rai  
 SCALE: 1/4" = 1'0"

**A0.3**

SHEET OF: -





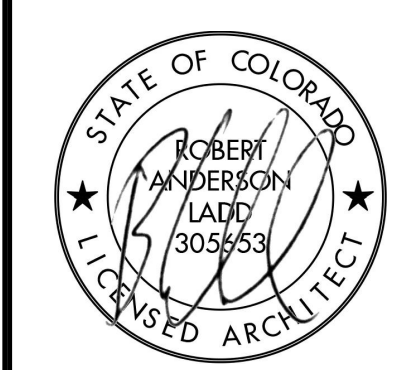
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4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

Steep Slope  
 Analysis  
 Calculation

PROJECT NO:	18-259	<b>A0.4</b>
DATE:	July 12, 2019	
DRAWN BY:	ral	
SCALE:	1" = 5'	



LOT 9  
 0.598 ACRES (CALCULATED)  
 ADDRESS: 4822 MEADOW LANE

**1 Construction Management Plan**  
 SCALE: 1" = 10'

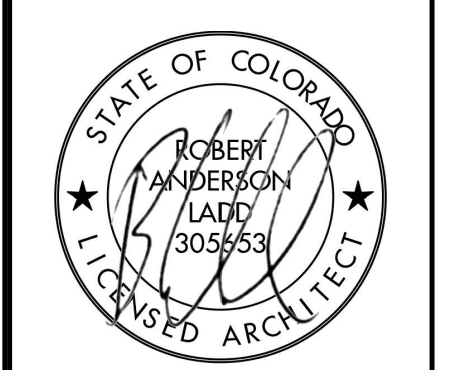
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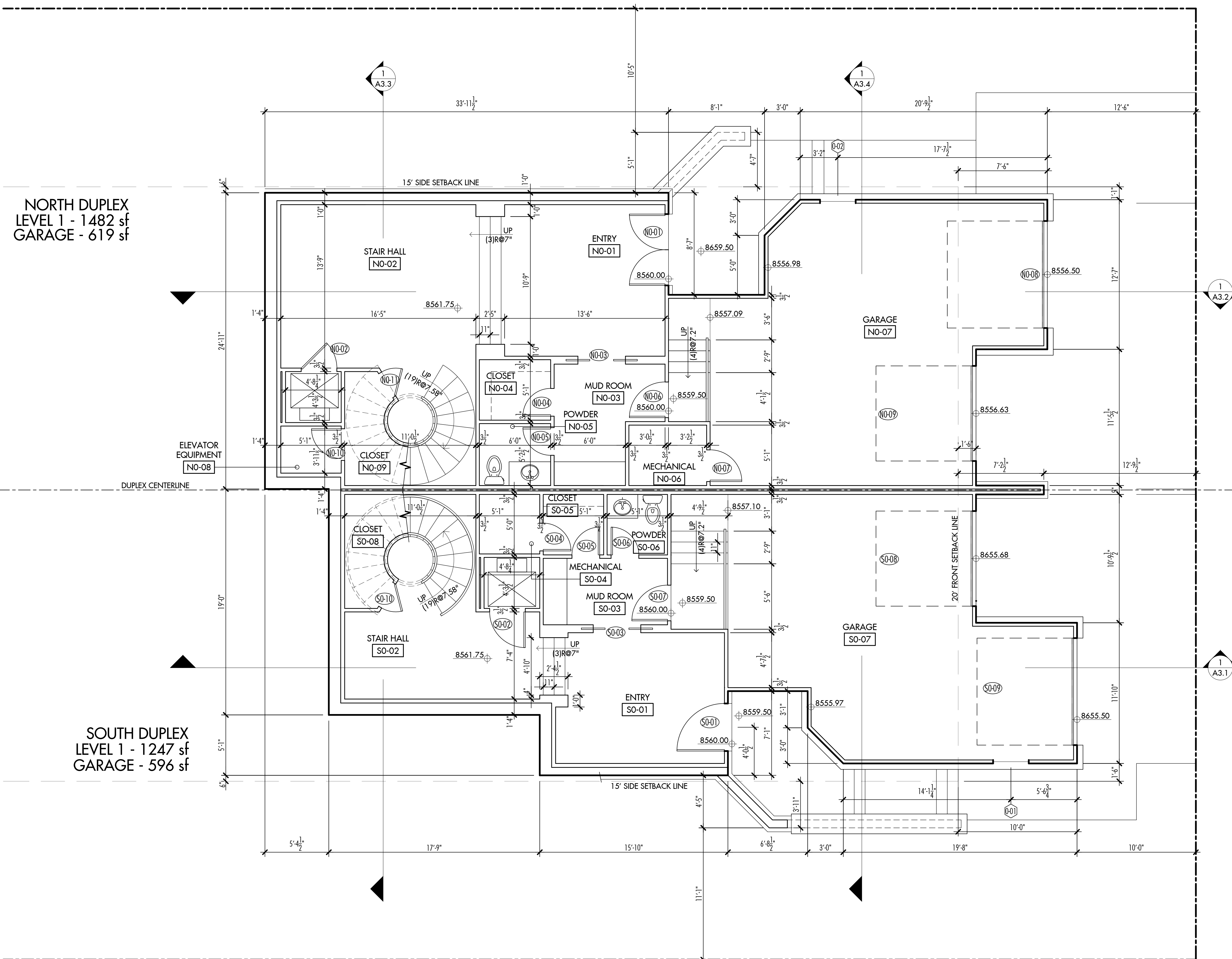
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4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

Construction  
 Management  
 Plan

PROJECT NO:	18-259	<b>A0.5</b>
DATE:	July 12, 2019	
DRAWN BY:	rd	
SCALE:	1" = 10'	





NORTH DUPLEX  
LEVEL 1 - 1482 sf  
GARAGE - 619 sf

SOUTH DUPLEX  
LEVEL 1 - 1247 sf  
GARAGE - 596 sf

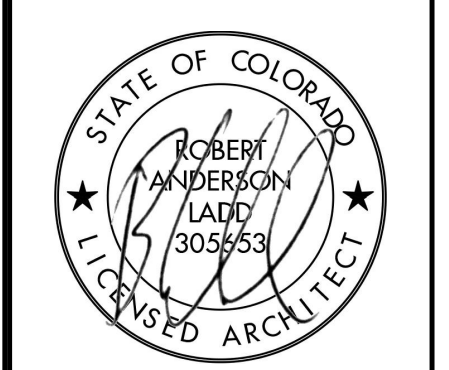
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4822 Meadow Lane  
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Lot 9, Block 7  
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Vail, CO

Level 00  
Floor  
Plan

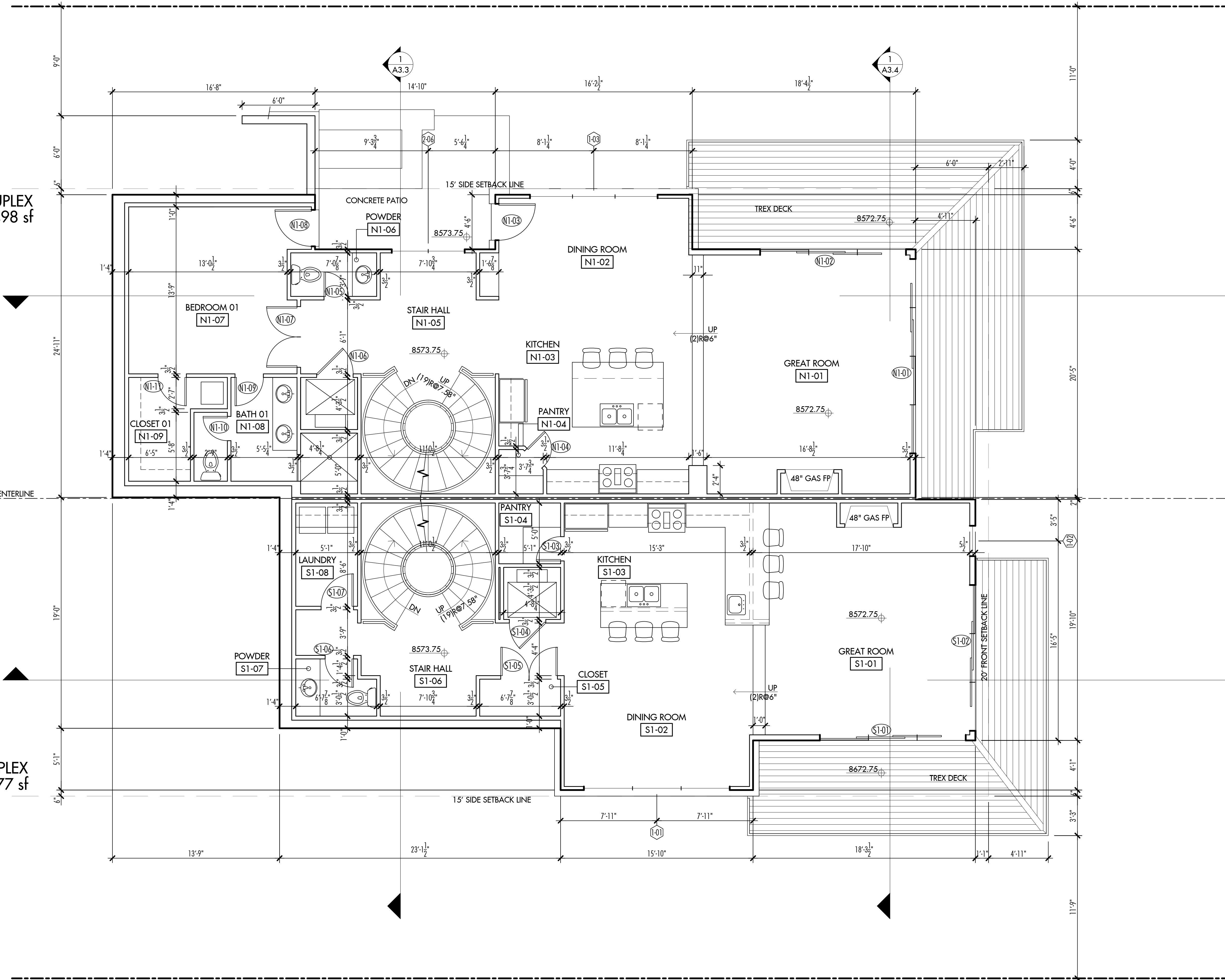
PROJECT NO: 18-259  
DATE: July 12, 2019  
DRAWN BY: rai  
SCALE: 1/4" = 1'0"  
SHEET OF: 1

**A1.1**



NORTH DUPLEX  
LEVEL 2 - 1498 sf

SOUTH DUPLEX  
LEVEL 2 - 1177 sf



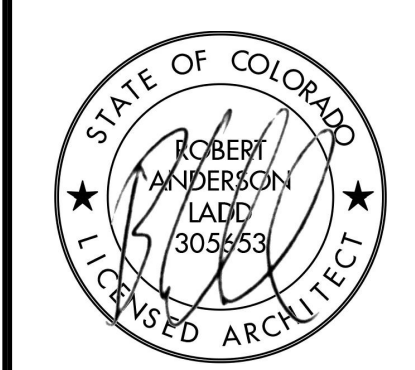
ARCHITECT

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P.O. Box 1805  
Edwards, Colorado 81632 email - bobby@raich.com

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4822 Meadow Lane  
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Vail, CO

Level 01  
Floor  
Plan

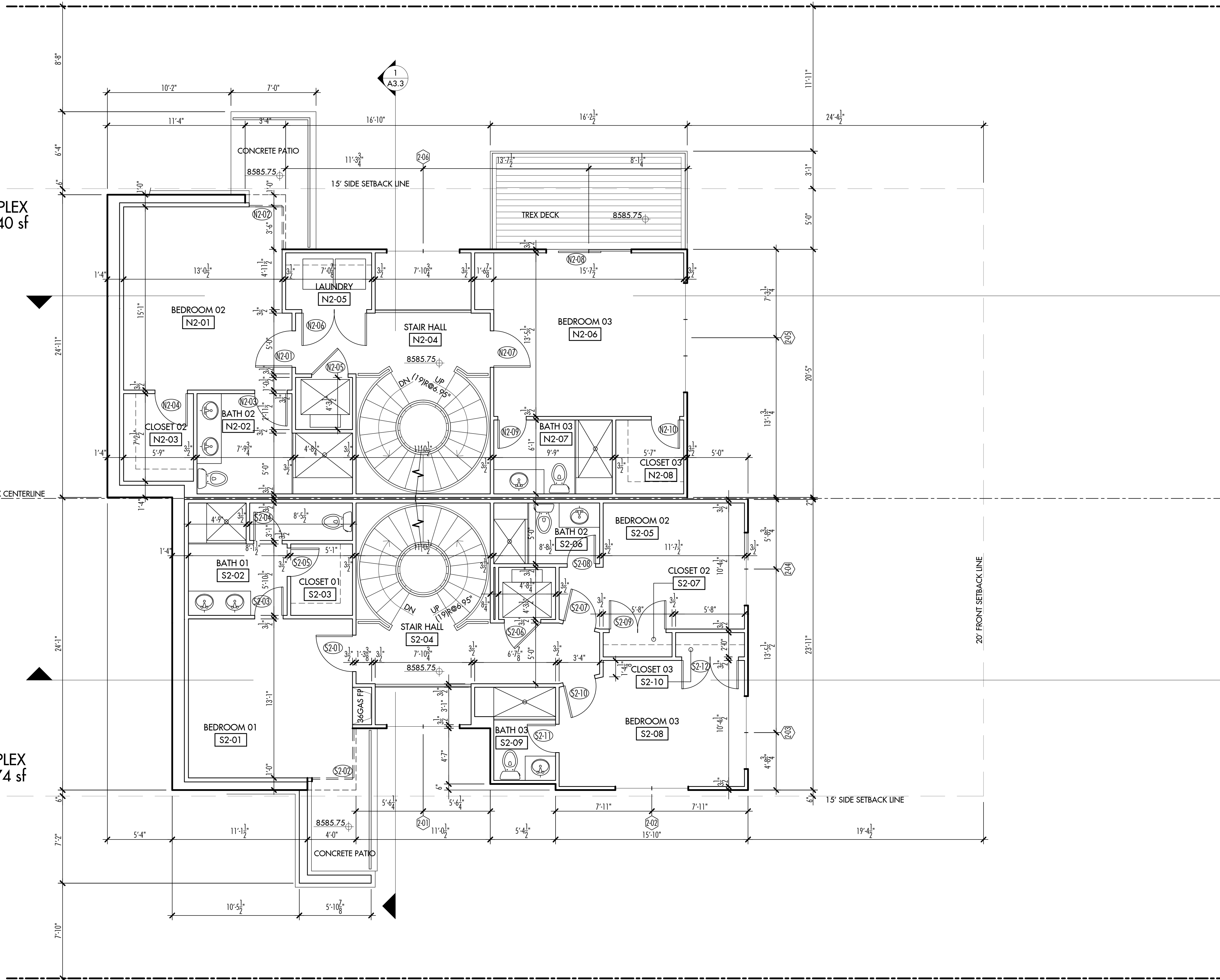
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DATE: July 12, 2019  
DRAWN BY: rai  
SCALE: 1/4" = 1'-0"  
SHEET OF: 1

**A1.2**



NORTH DUPLEX  
LEVEL 3 - 1040 sf

SOUTH DUPLEX  
LEVEL 3 - 1074 sf



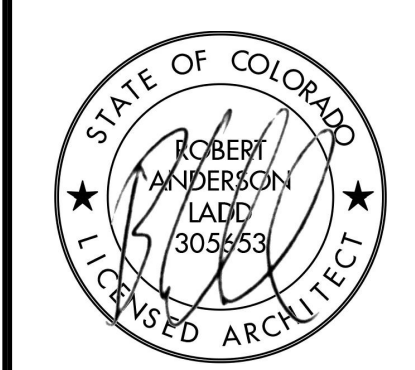
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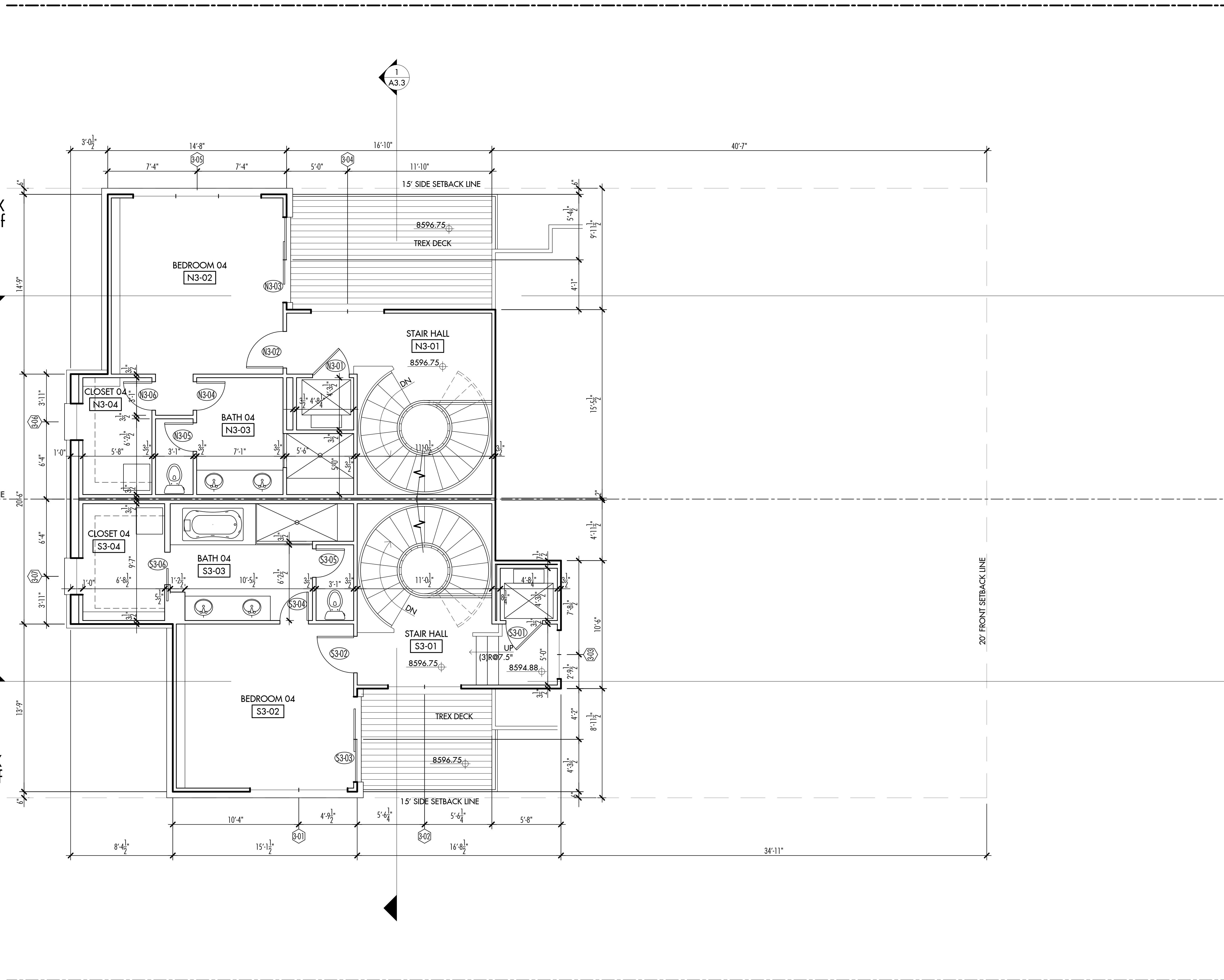
Level 02  
Floor  
Plan

PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	ral
SCALE:	1/4" = 1'0"
SHEET OF:	A1.3



NORTH DUPLEX  
LEVEL 4 - 661 sf

SOUTH DUPLEX  
LEVEL 4 - 679 sf



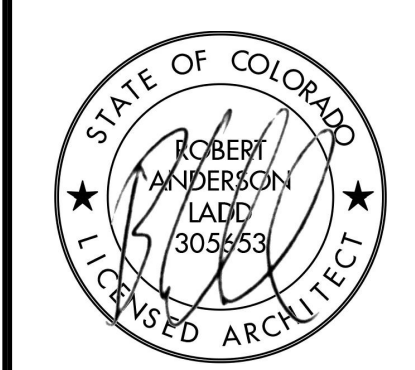
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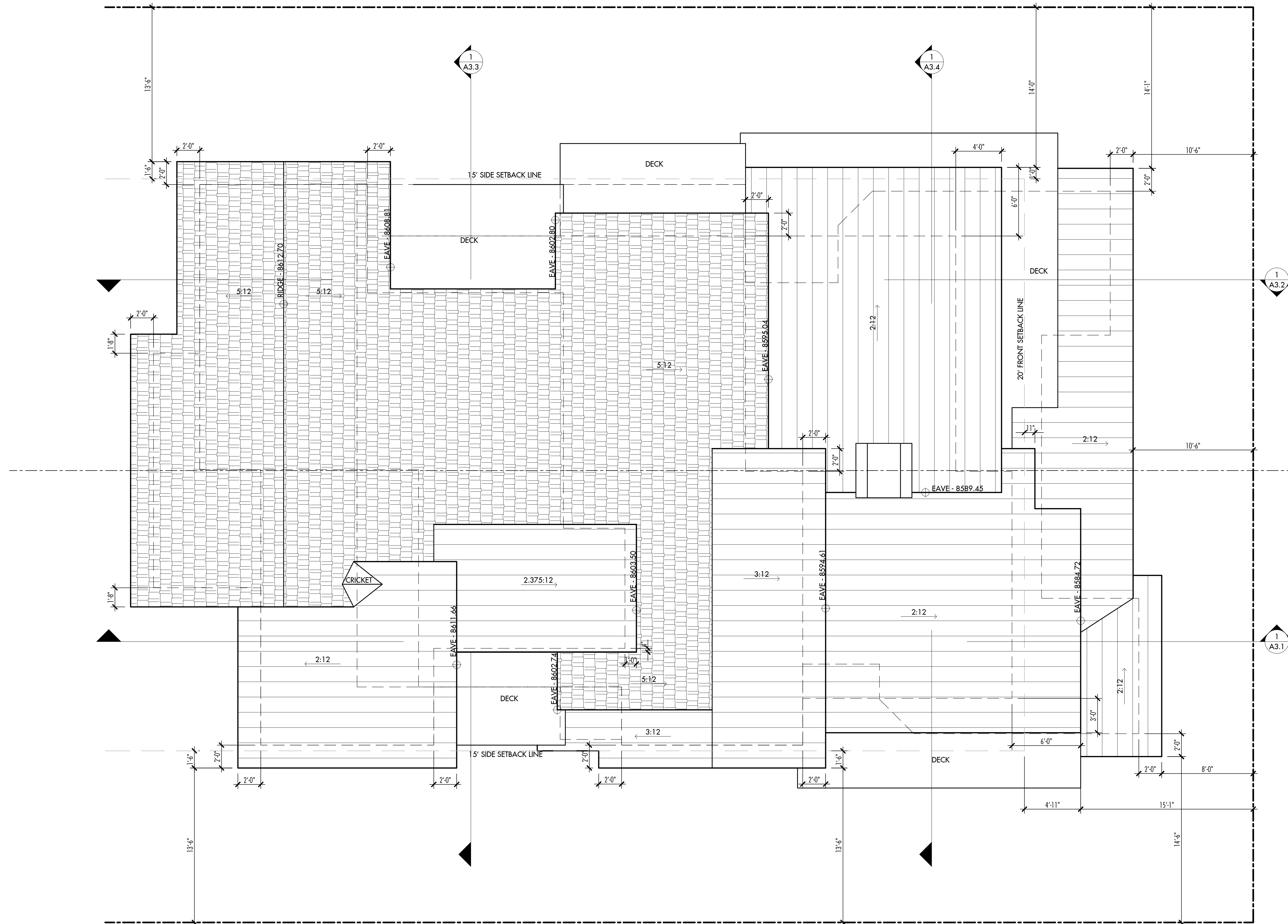
4822 Meadow Lane  
Residence  
  
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Vail, CO

Level 03  
Floor  
Plan

PROJECT NO:	18-259
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DRAWN BY:	ral
SCALE:	1/4" = 1'0"
SHEET OF:	1

**A1.4**





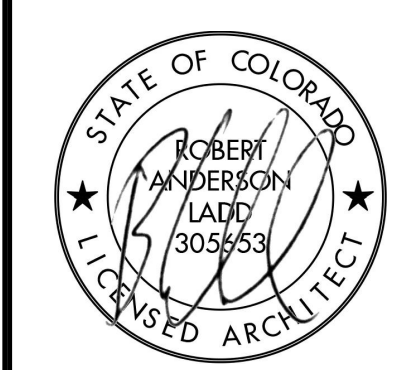
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4822 Meadow Lane  
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 Bighorn  
 Vail, CO

Roof  
 Plan

PROJECT NO:	18-259	<b>A1.5</b>
DATE:	July 12, 2019	
DRAWN BY:	rdl	
SCALE:	1/4" = 1'-0"	



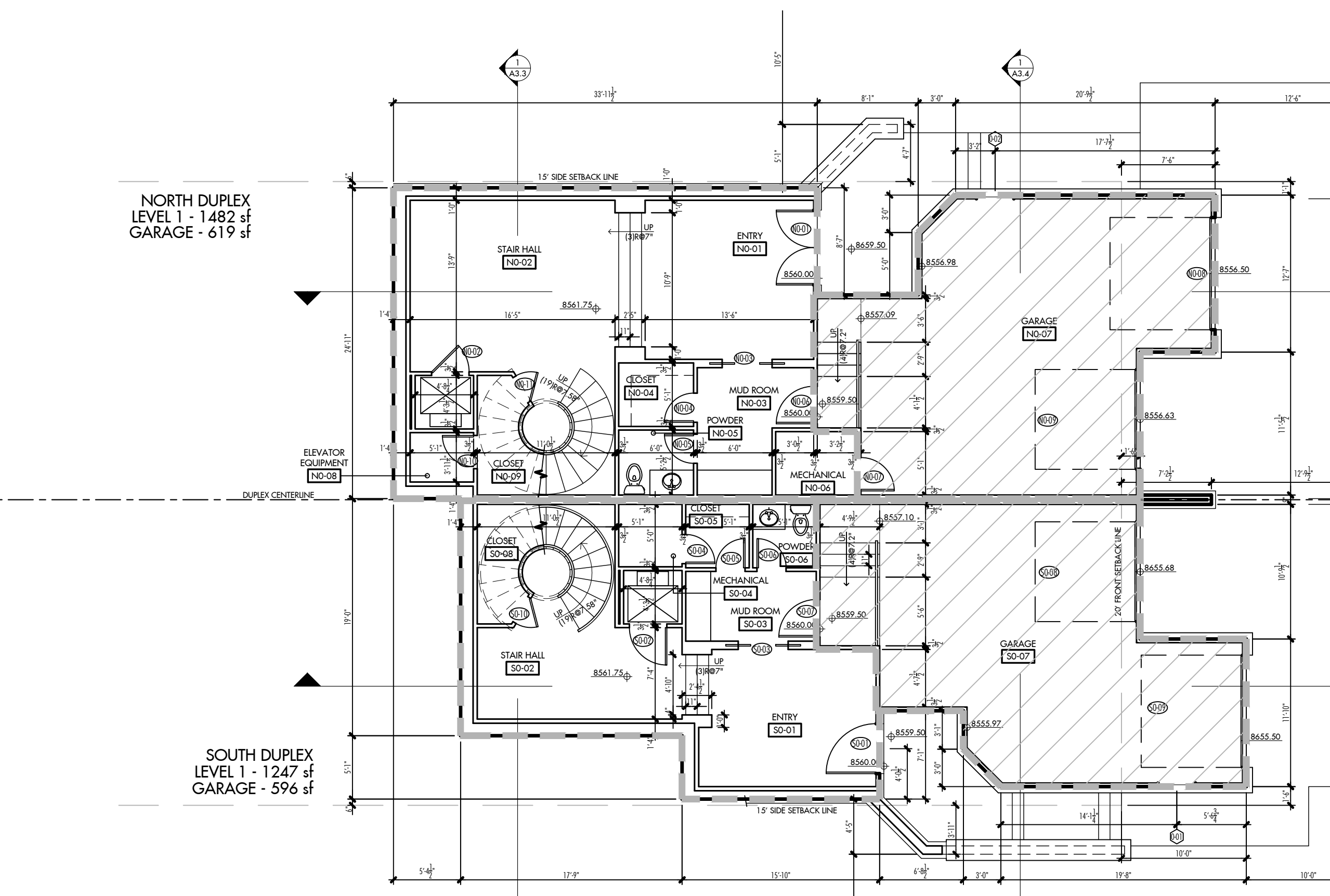
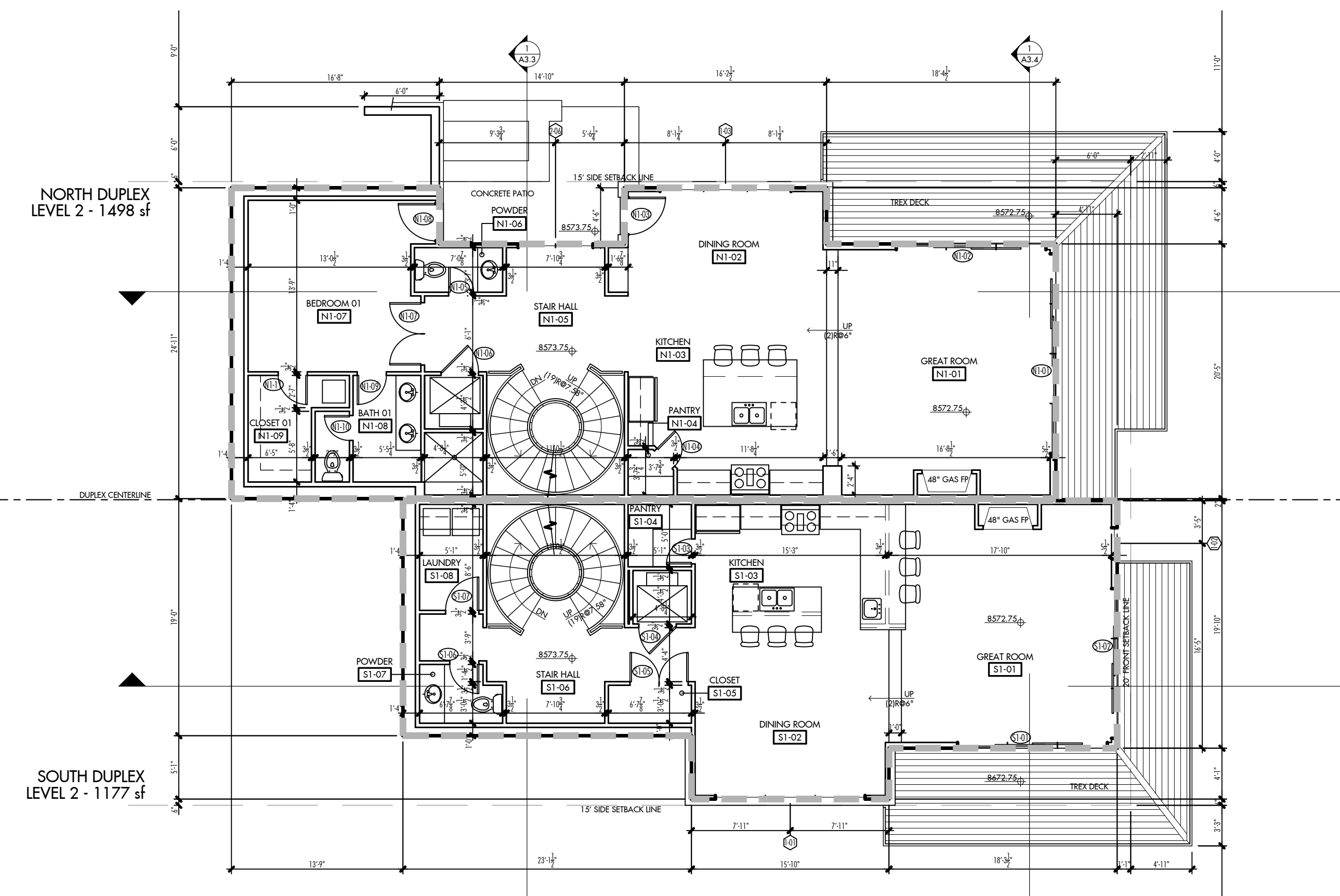
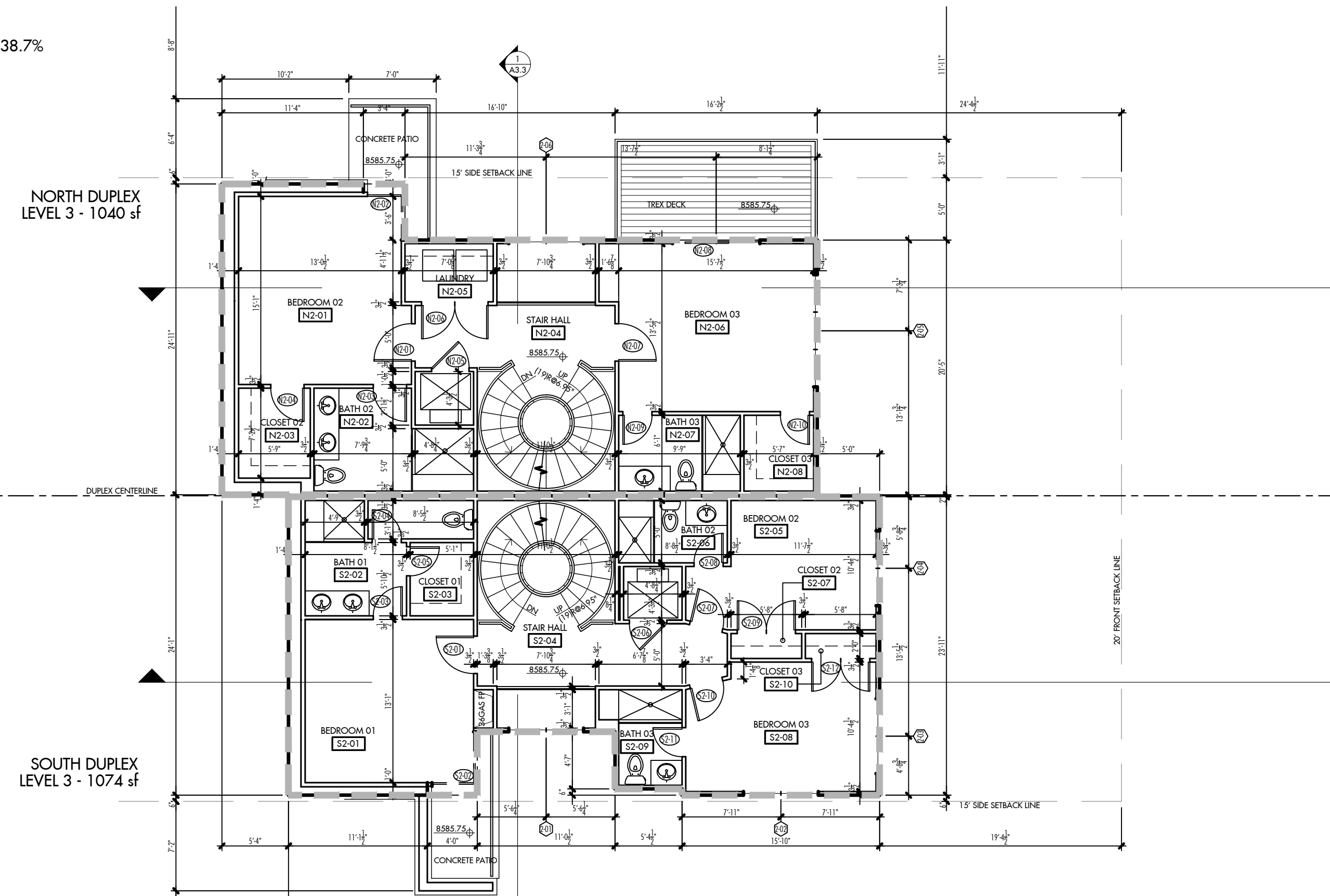
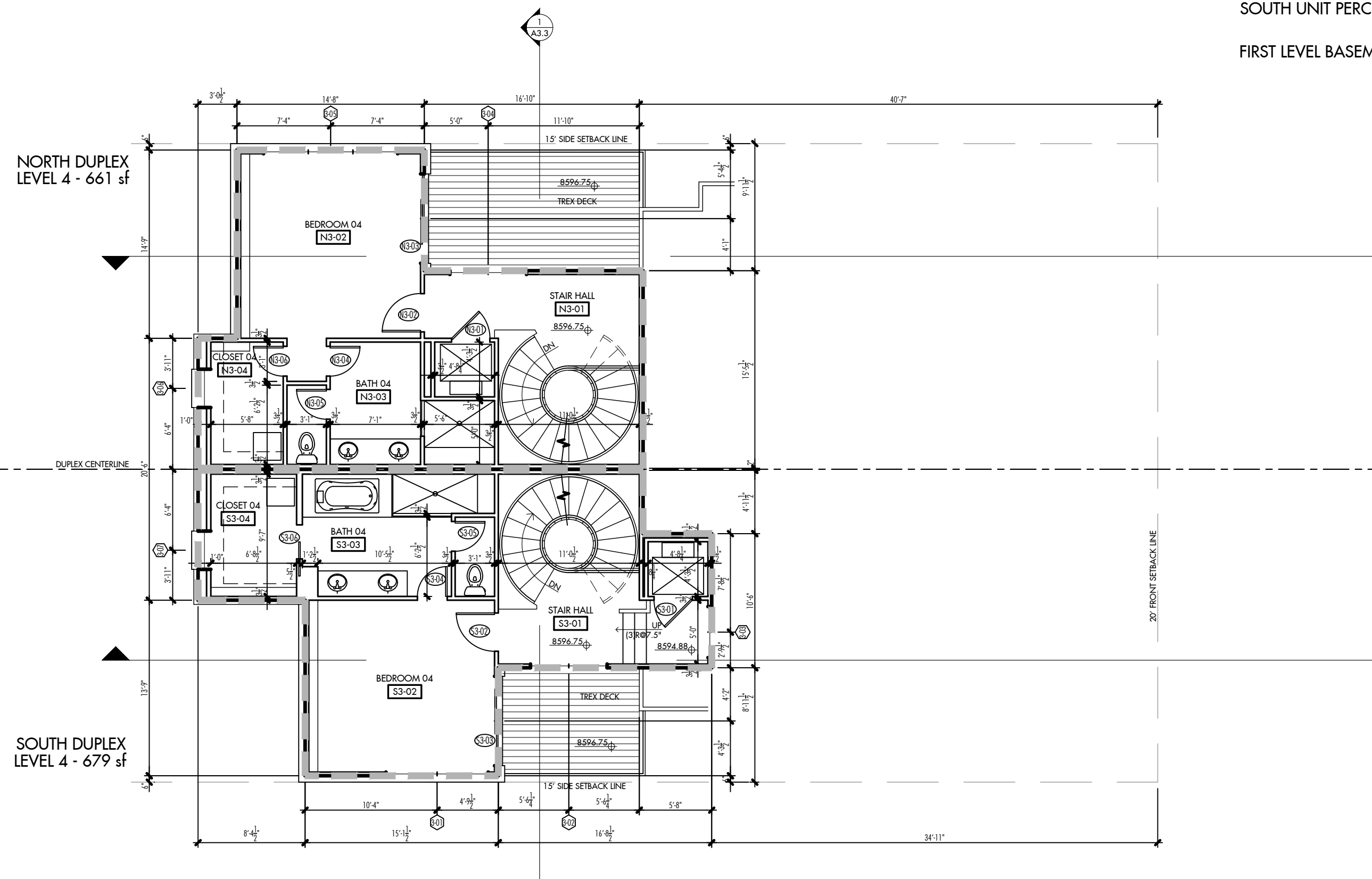
GRFA CALCULATION

	SOUTH	NORTH
FIRST LEVEL TOTAL	1247 SF	1482 SF
BASEMENT DEDUCTION	-511 SF	-608 SF
GARAGE DEDUCTION	-596 SF	-600 SF
FIRST LEVEL GRFA	140 SF	274 SF
SECOND LEVEL GRFA	1177 SF	1498 SF
THIRD LEVEL GRFA	1074 SF	1040 SF
FOURTH LEVEL GRFA	679 SF	661 SF
TOTAL GRFA	3070 SF	3473 SF

TOTAL OVERALL GRFA 6543 SF  
 TOTAL ALLOWABLE GRFA 7936 SF

SOUTH UNIT PERCENTAGE 3070 / 7936 = 38.7%

FIRST LEVEL BASEMENT DEDUCTION = 41%



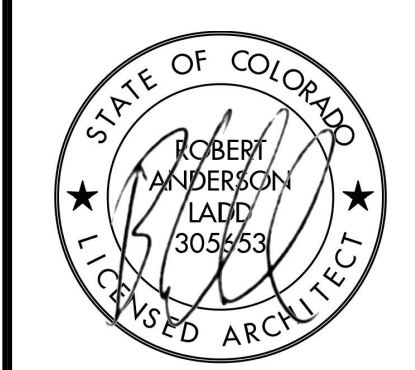
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B	DRB Revisions	04.03.19
C	DRB Revisions	05.28.19
D	Building Permit	07.12.19

4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

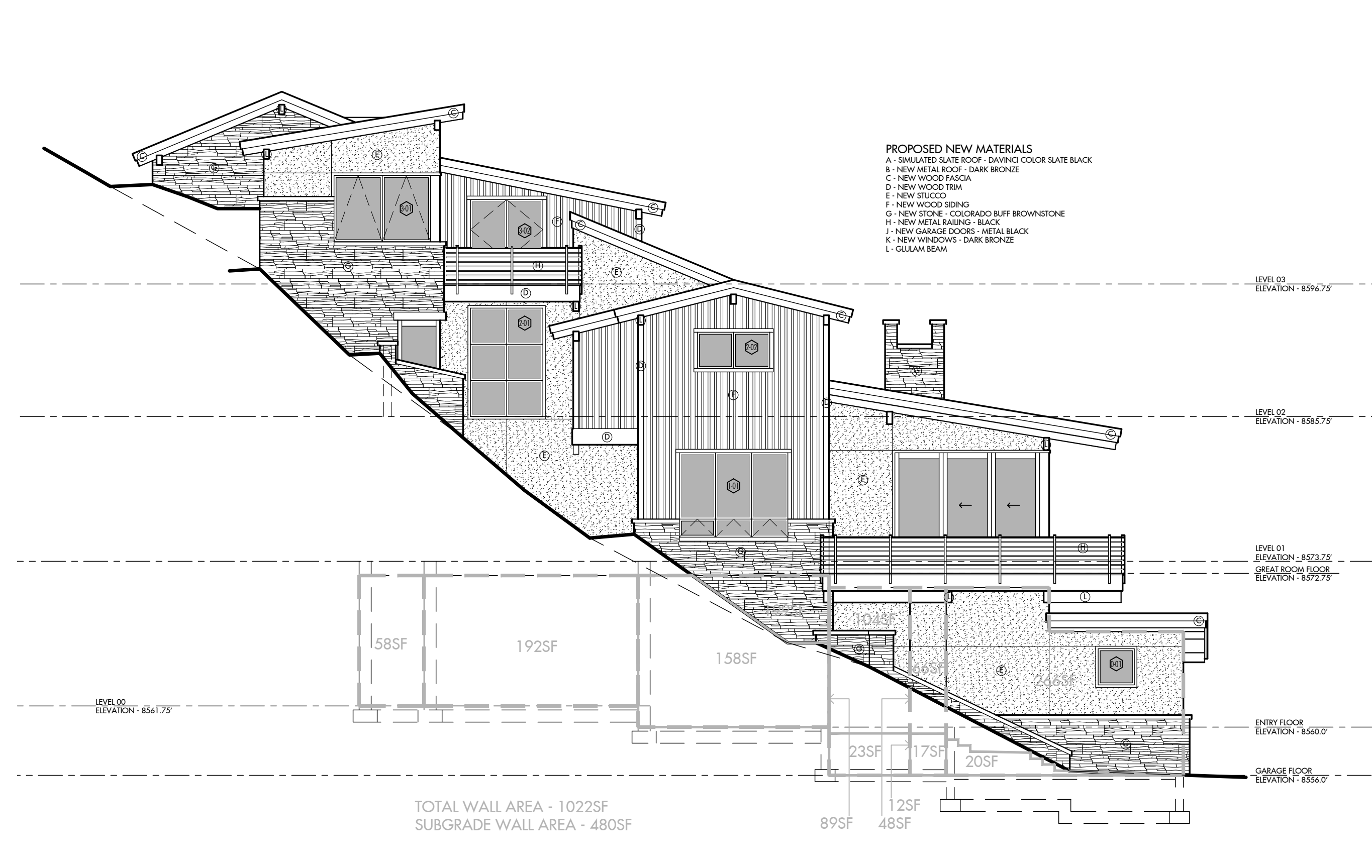
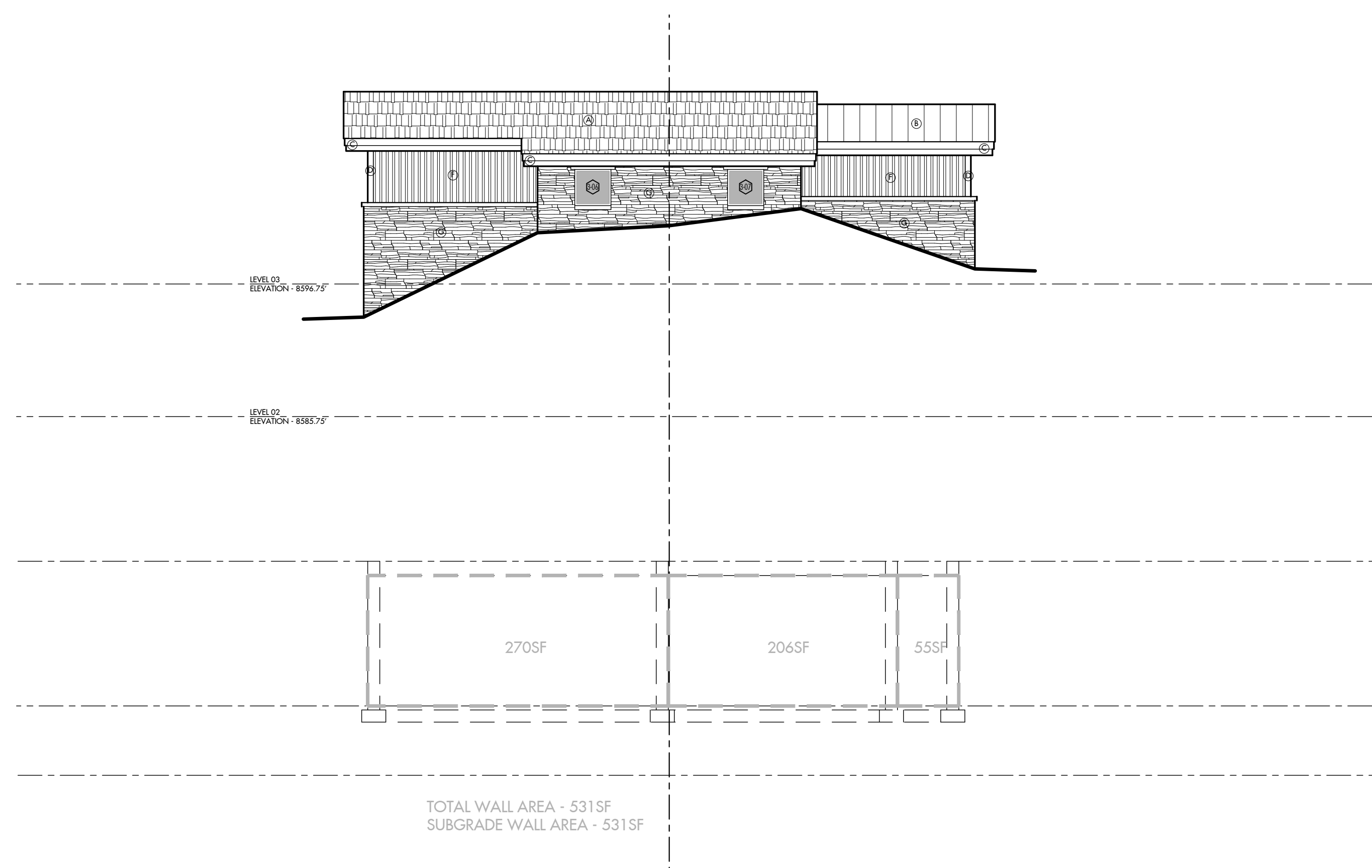
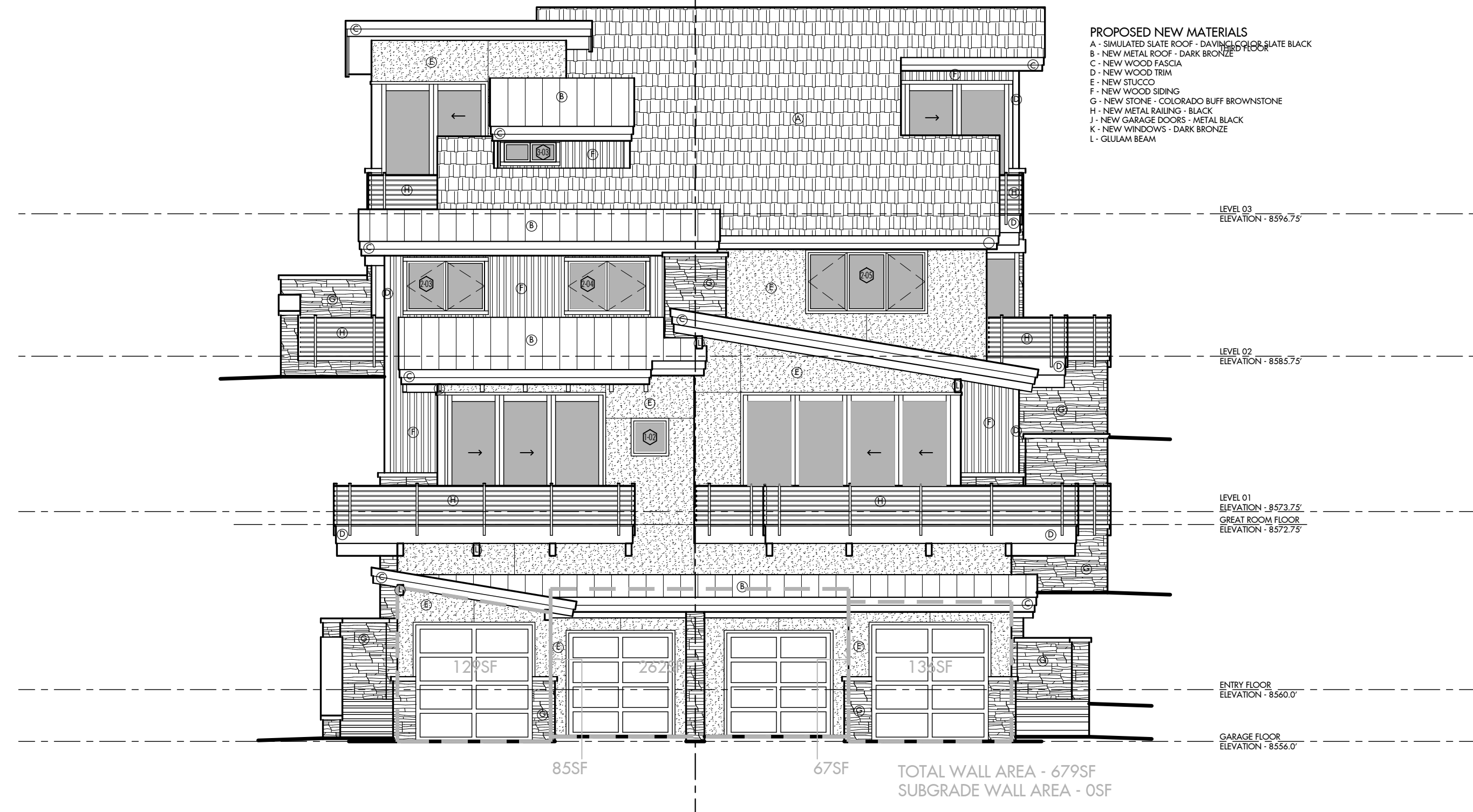
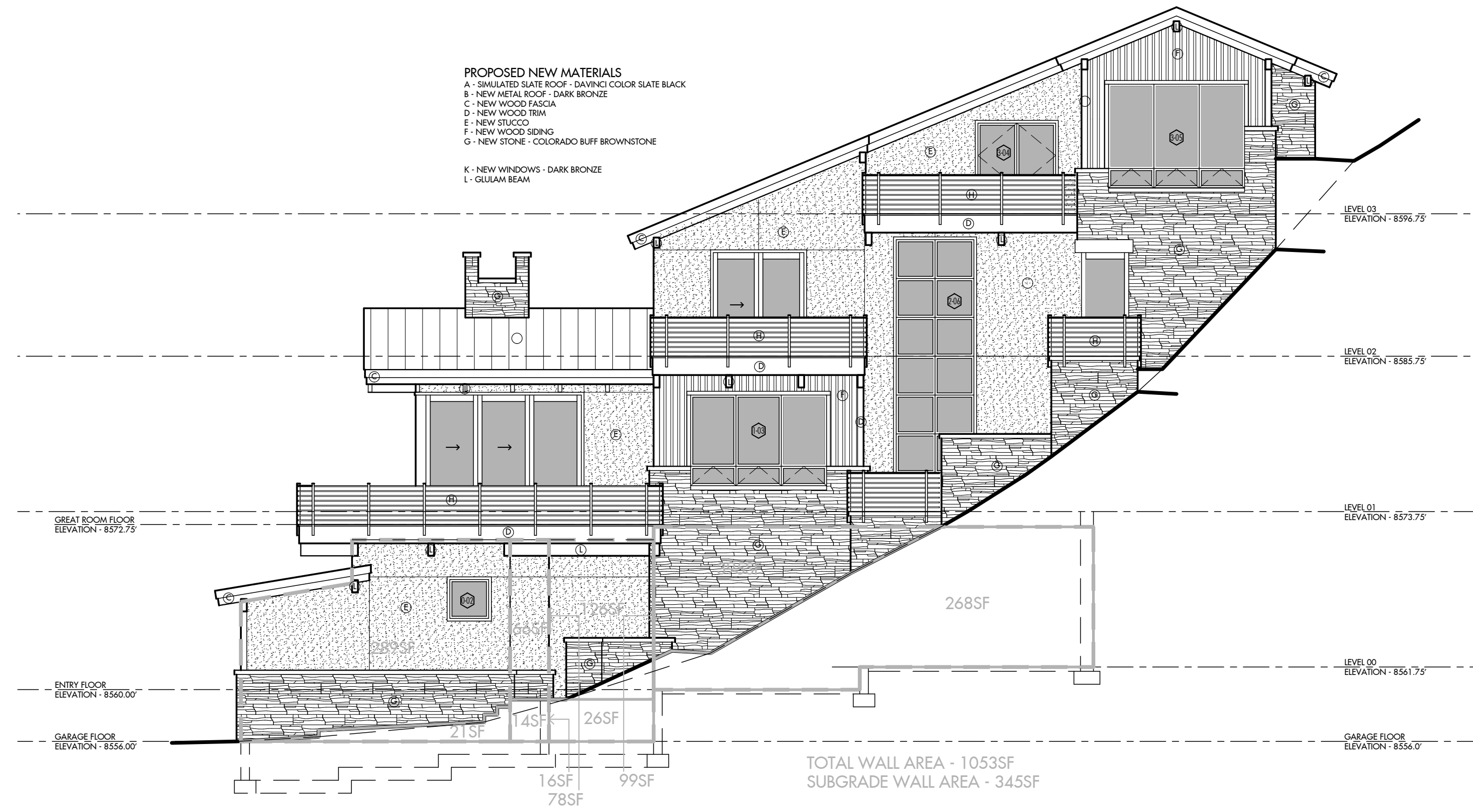
GRFA  
 Calculation

PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	rd
SCALE:	1/8" = 1'-0"

A1.6



BASEMENT DEDUCTION		
	WALL AREA	SUBGRADE WALL AREA
EAST ELEVATION	531 SF	531 SF
SOUTH ELEVATION	1053 SF	345 SF
WEST ELEVATION	679 SF	0 SF
NORTH ELEVATION	1022 SF	480 SF
TOTAL AREA	3285 SF	1356 SF
BASEMENT DEDUCTION PERCENTAGE 1356 / 3285 = 41%		



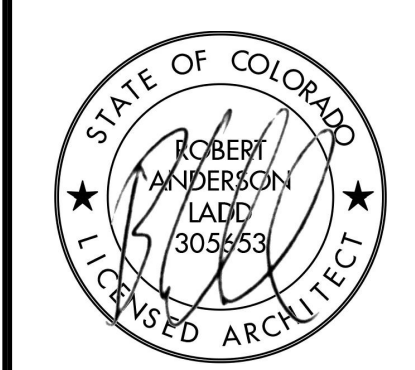
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 Edwards, Colorado 81632 email - bobby@raich.com

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ISSUES

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D	Building Permit	07.12.19

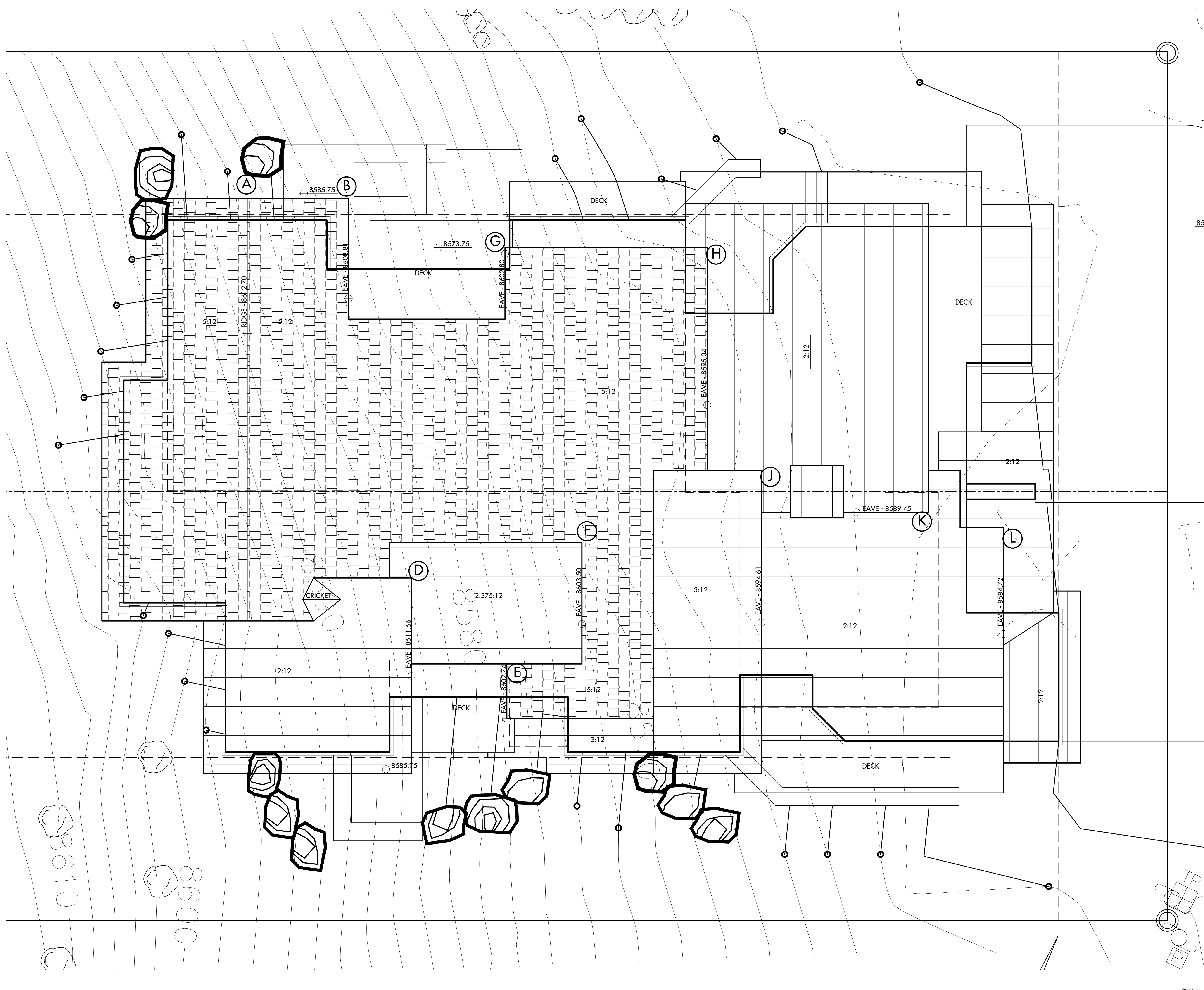
4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

GRFA  
 Basement  
 Calculation

PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	rdl
SCALE:	1/8" = 1'0"

A1.7





POINT	ROOF ELEVATION	EXIST GRADE	PROP GRADE	HEIGHT
A	8612.70	8587.0	8587.0	25.70
B	8608.81	8580.0	8585.75	28.81
C	8612.13	8587.0	IN BLDG	25.13
D	8611.66	8583.5	IN BLDG	28.16
E	8602.74	8577.5	IN BLDG	25.24
F	8603.50	8570.5	IN BLDG	33.00
G	8602.80	8571.0	8573.75	31.80
H	8595.71	8563.0	IN BLDG	32.71
J	8594.61	8563.0	IN BLDG	31.61
K	8589.45	8558.0	IN BLDG	31.45
L	8584.72	8556.0	8556.3	28.72

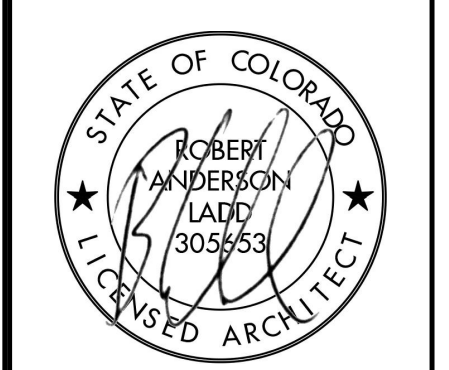
ARCHITECT

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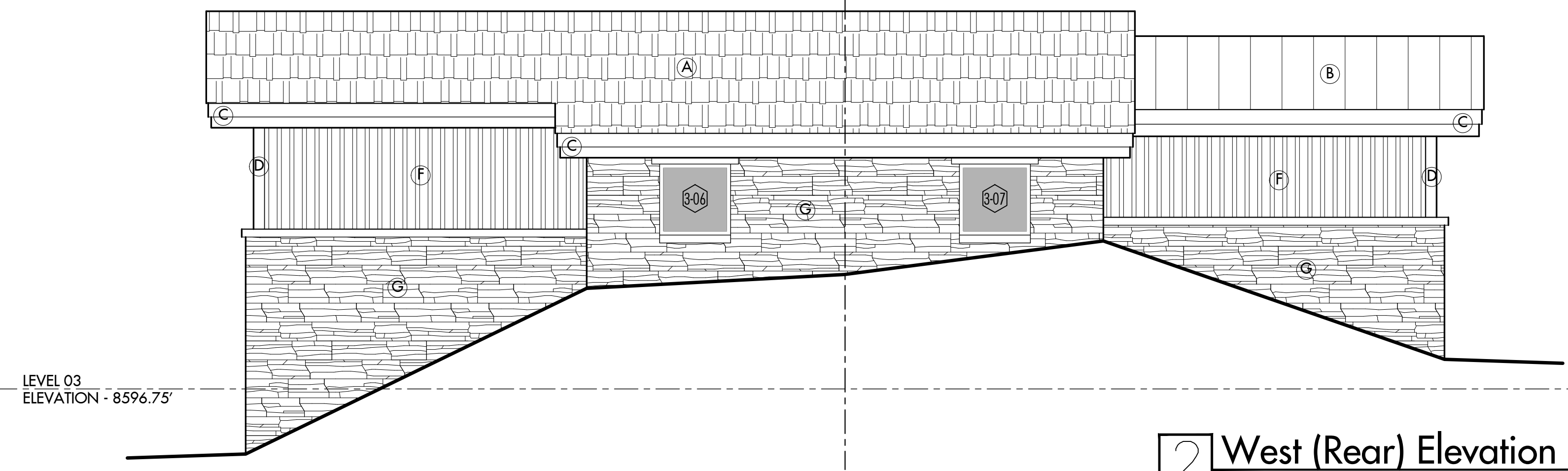
NO.	DESCRIPTION	DATE
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4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

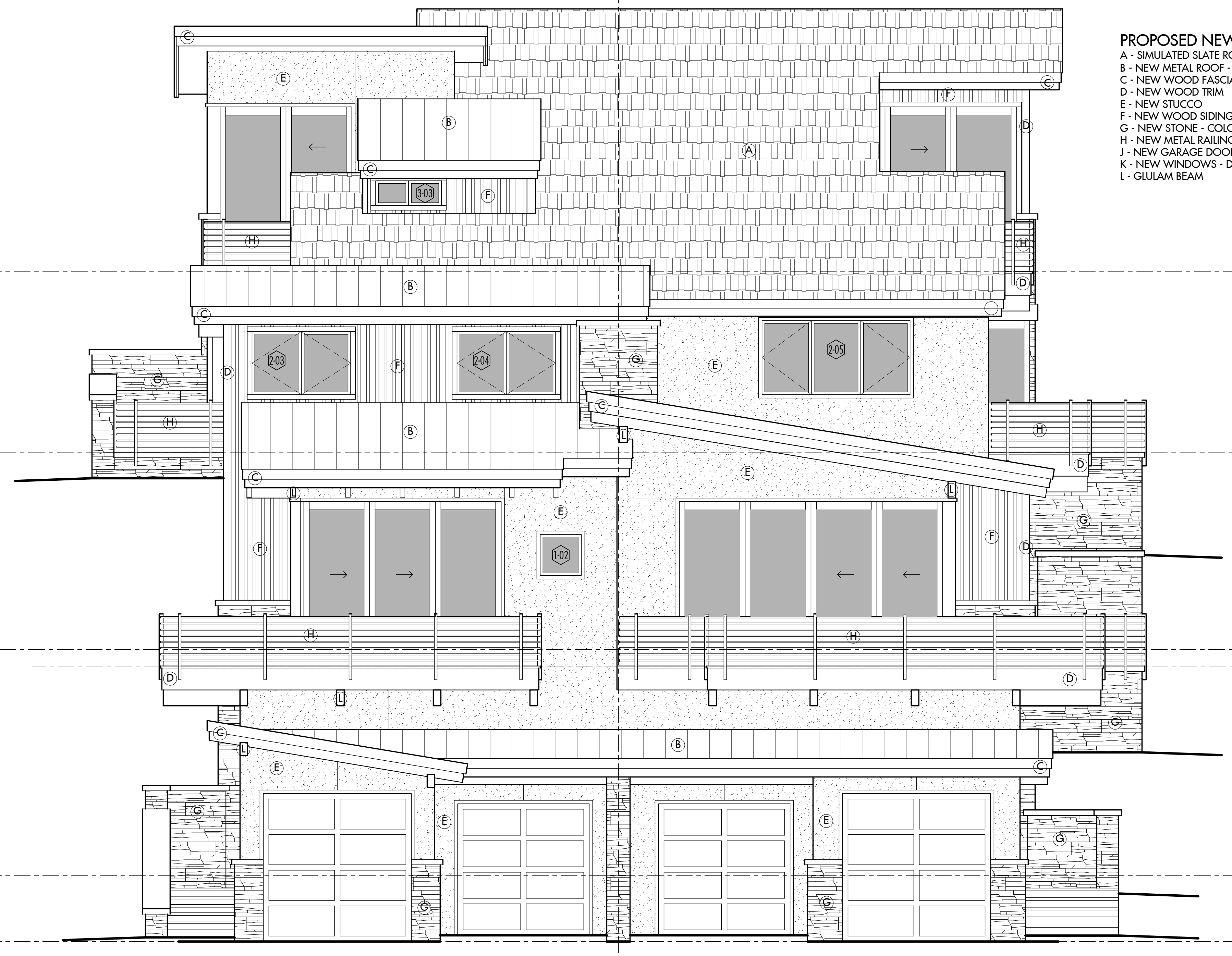
Building  
 Height  
 Calculation

PROJECT NO:	18-259	<b>A1.8</b>
DATE:	July 12, 2019	
DRAWN BY:	rd	
SCALE:	1" = 10'	





**2 West (Rear) Elevation**  
Scale: 1/4" = 1'0"



- PROPOSED NEW MATERIALS**
- A - SIMULATED SLATE ROOF - DAVINCI COLOR SLATE BLACK
  - B - NEW METAL ROOF - DARK BRONZE
  - C - NEW WOOD FASCIA
  - D - NEW WOOD TRIM
  - E - NEW STUCCO
  - F - NEW WOOD SIDING
  - G - NEW STONE - COLORADO BUFF BROWNSTONE
  - H - NEW METAL RAILING - BLACK
  - J - NEW GARAGE DOORS - METAL BLACK
  - K - NEW WINDOWS - DARK BRONZE
  - L - GLULAM BEAM

**1 East (Front) Elevation**  
Scale: 1/4" = 1'0"

ARCHITECT

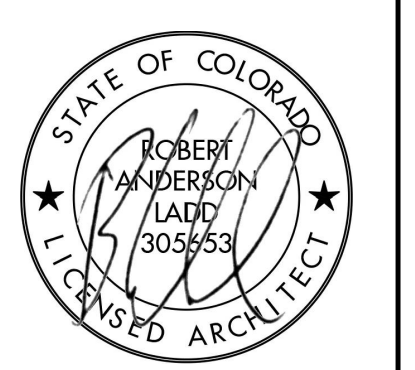
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D	Building Permit	07.12.19

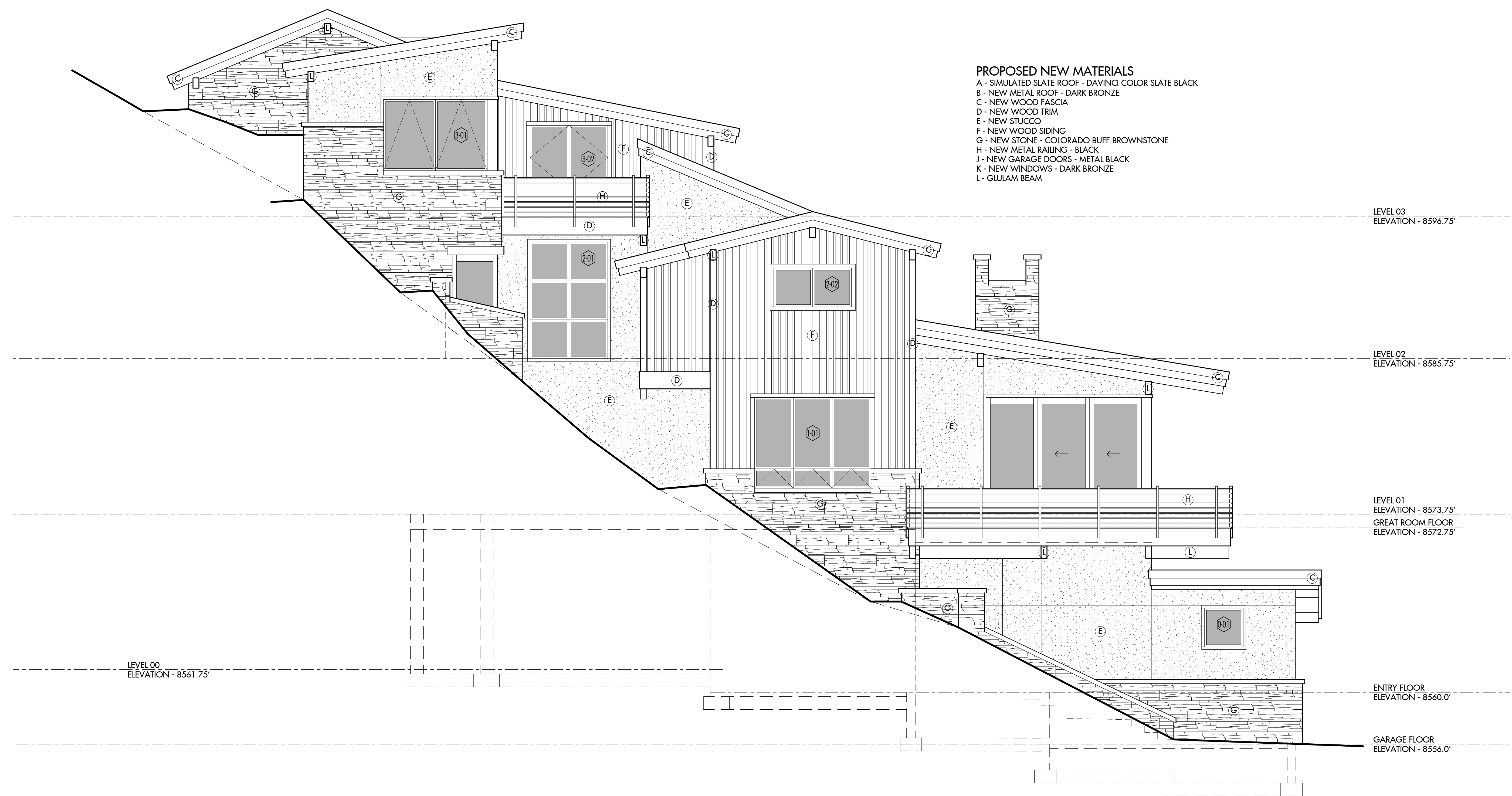
**4822 Meadow Lane Residence**

Lot 9, Block 7  
Bighorn  
Vail, CO

**Exterior Building Elevations**

PROJECT NO:	18-259	<b>A2.1</b>
DATE:	July 12, 2019	
DRAWN BY:	rd	
SCALE:	1/4" = 1'0"	





- PROPOSED NEW MATERIALS**
- A - SIMULATED SLATE ROOF - DAVINCI COLOR SLATE BLACK
  - B - NEW METAL ROOF - DARK BRONZE
  - C - NEW WOOD FASCIA
  - D - NEW WOOD TRIM
  - E - NEW STUCCO
  - F - NEW WOOD SIDING
  - G - NEW STONE - COLORADO BUFF BROWNSTONE
  - H - NEW METAL RAILING - BLACK
  - J - NEW GARAGE DOORS - METAL BLACK
  - K - NEW WINDOWS - DARK BRONZE
  - L - GLULAM BEAM

**1 South (Side) Elevation**  
Scale: 1/4" = 1'0"

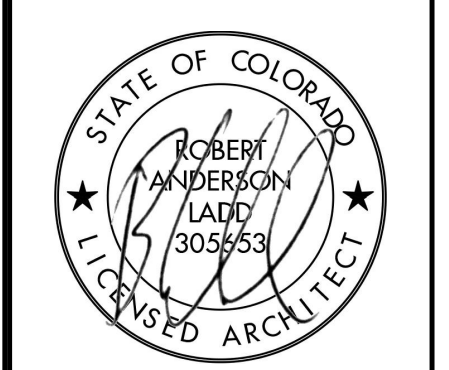
ARCHITECT

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ISSUES

NO.	DESCRIPTION	DATE
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C	DRB Revisions	05.28.19
D	Building Permit	07.12.19

**4822 Meadow Lane Residence**  
Let 9, Block 7  
Bighorn  
Vail, CO

**Exterior Building Elevations**

PROJECT NO:	18-259	<b>A2.2</b>
DATE:	July 12, 2019	
DRAWN BY:	ral	
SCALE:	1/4" = 1'0"	



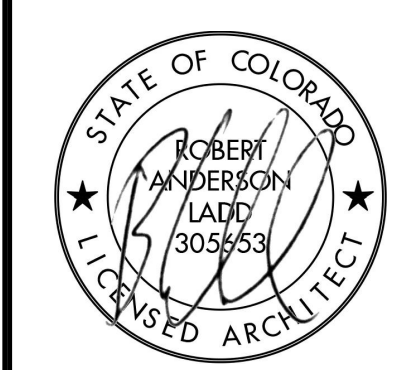
ARCHITECT

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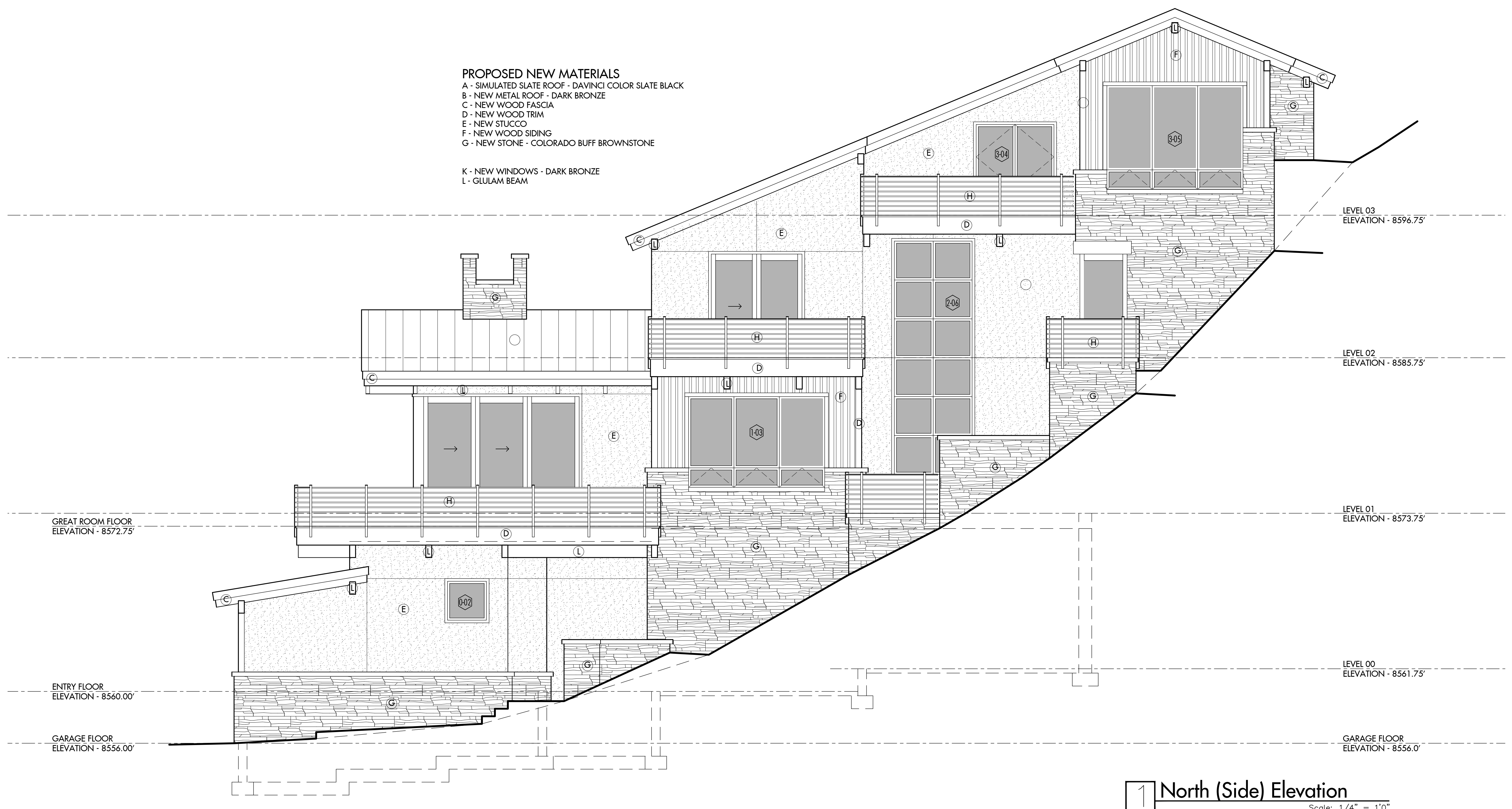
NO.	DESCRIPTION	DATE
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4822 Meadow Lane  
 Residence  
 Lot 9, Block 7  
 Bighorn  
 Vail, CO

Exterior  
 Building  
 Elevations

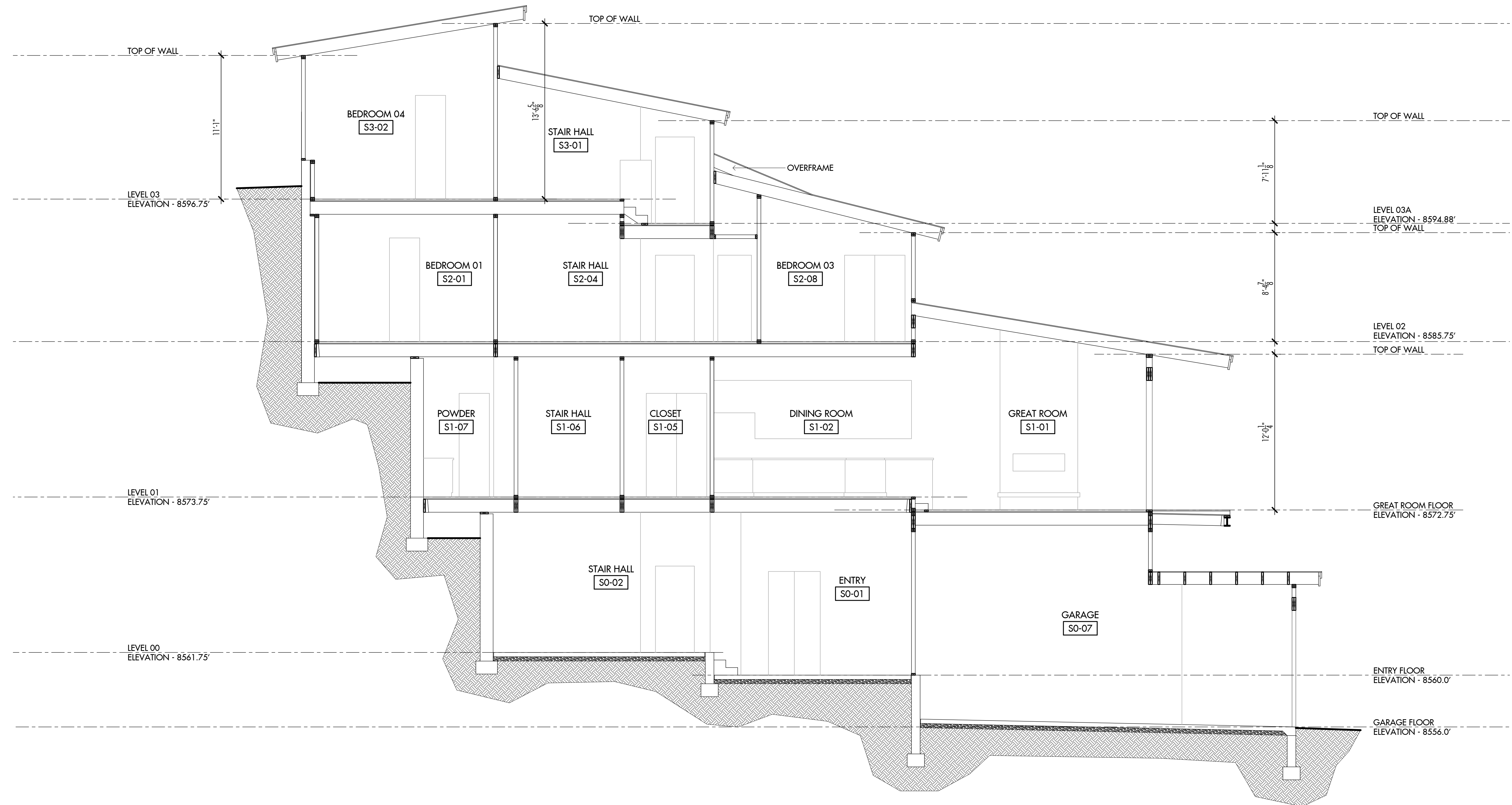
PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	ral
SCALE:	1/4" = 1'0"
SHEET OF:	-

- PROPOSED NEW MATERIALS**  
 A - SIMULATED SLATE ROOF - DAVINCI COLOR SLATE BLACK  
 B - NEW METAL ROOF - DARK BRONZE  
 C - NEW WOOD FASCIA  
 D - NEW WOOD TRIM  
 E - NEW STUCCO  
 F - NEW WOOD SIDING  
 G - NEW STONE - COLORADO BUFF BROWNSTONE  
 K - NEW WINDOWS - DARK BRONZE  
 L - GLULAM BEAM



**1 North (Side) Elevation**  
 Scale: 1/4" = 1'0"





1 South Unit Longitudinal Section  
Scale: 1/4" = 1'0"

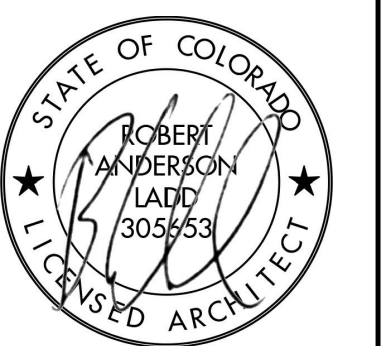
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4822 Meadow Lane  
Residence  
Lot 9, Block 7  
Bighorn  
Vail, CO

Building  
Longitudinal  
Section

PROJECT NO:	18-259	<b>A3.1</b>
DATE:	July 12, 2019	
DRAWN BY:	ral	
SCALE:	1/4" = 1'0"	



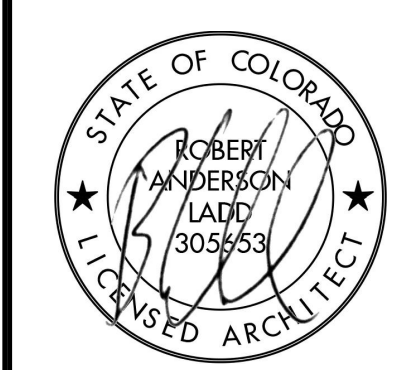
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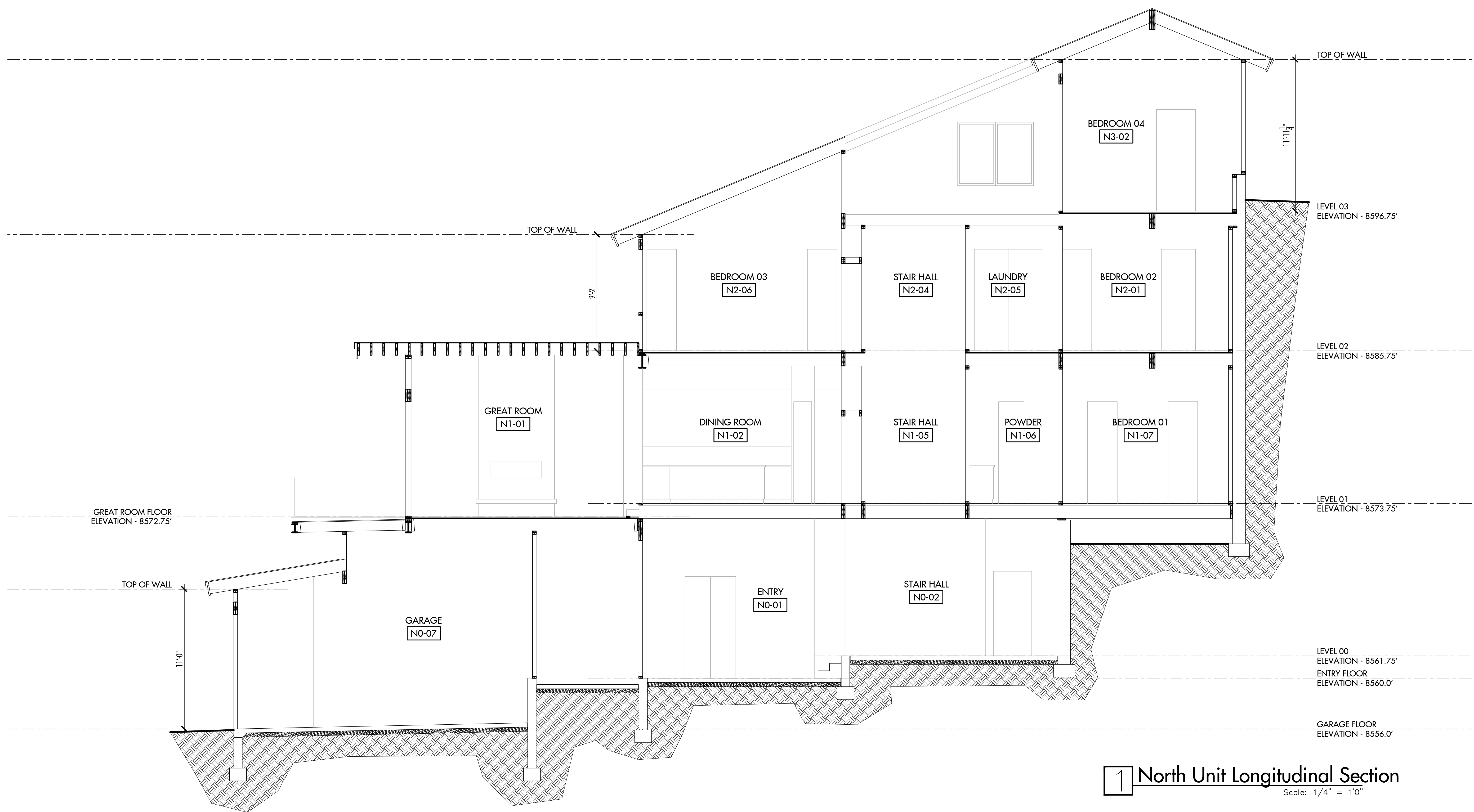
ISSUES

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4822 Meadow Lane  
Residence  
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Vail, CO

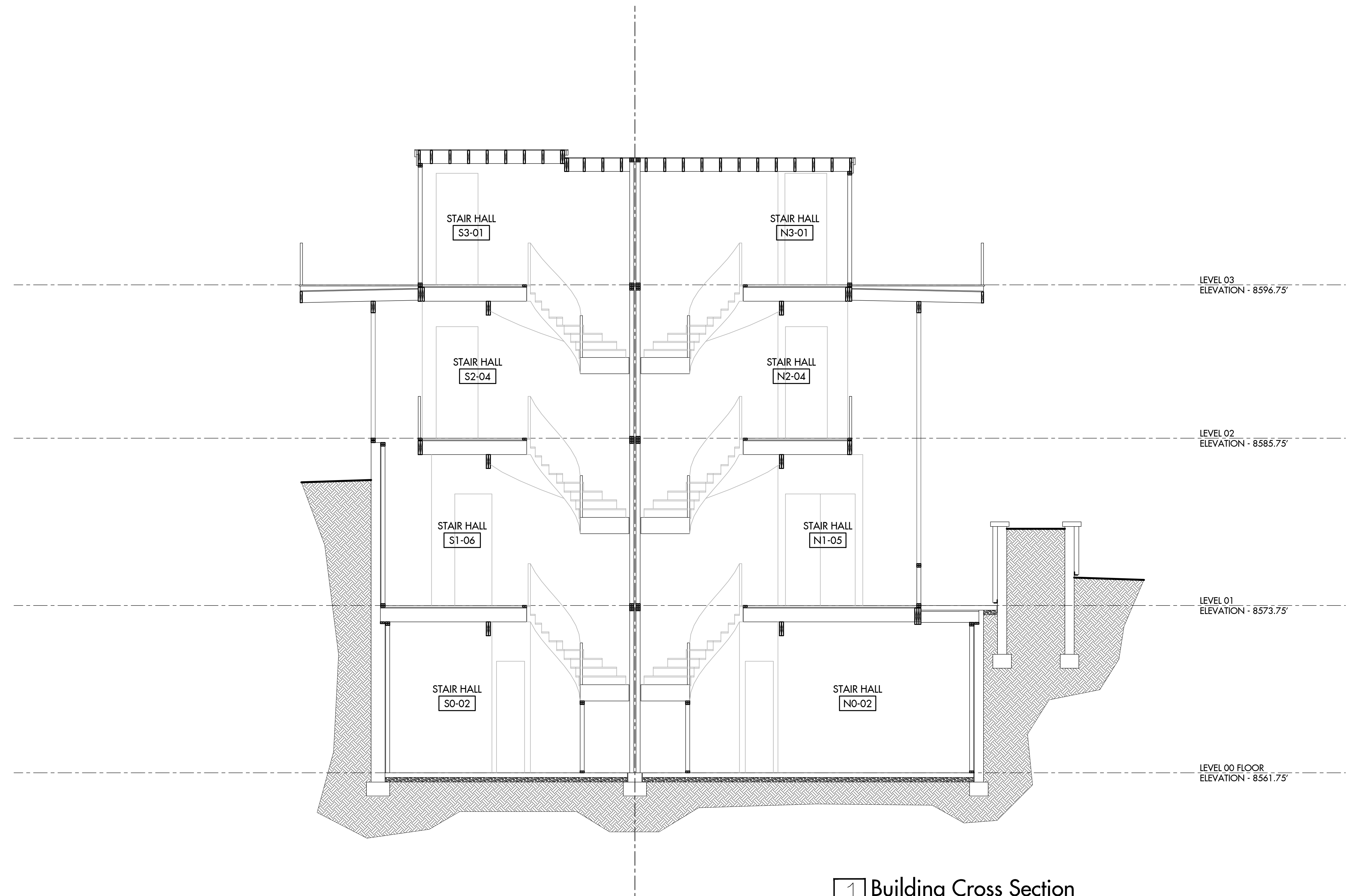
Building  
Longitudinal  
Section

PROJECT NO:	18-259	<b>A3.2</b>
DATE:	July 12, 2019	
DRAWN BY:	ral	
SCALE:	1/4" = 1'0"	



**1** North Unit Longitudinal Section  
Scale: 1/4" = 1'0"





**1 Building Cross Section**  
Scale: 1/4" = 1'0"

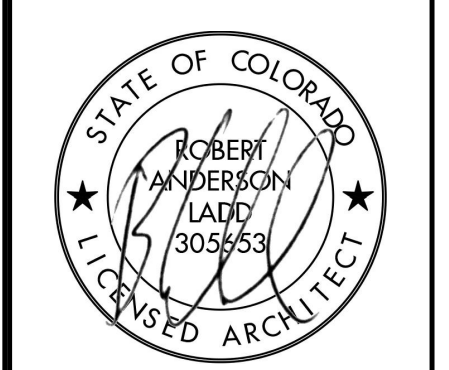
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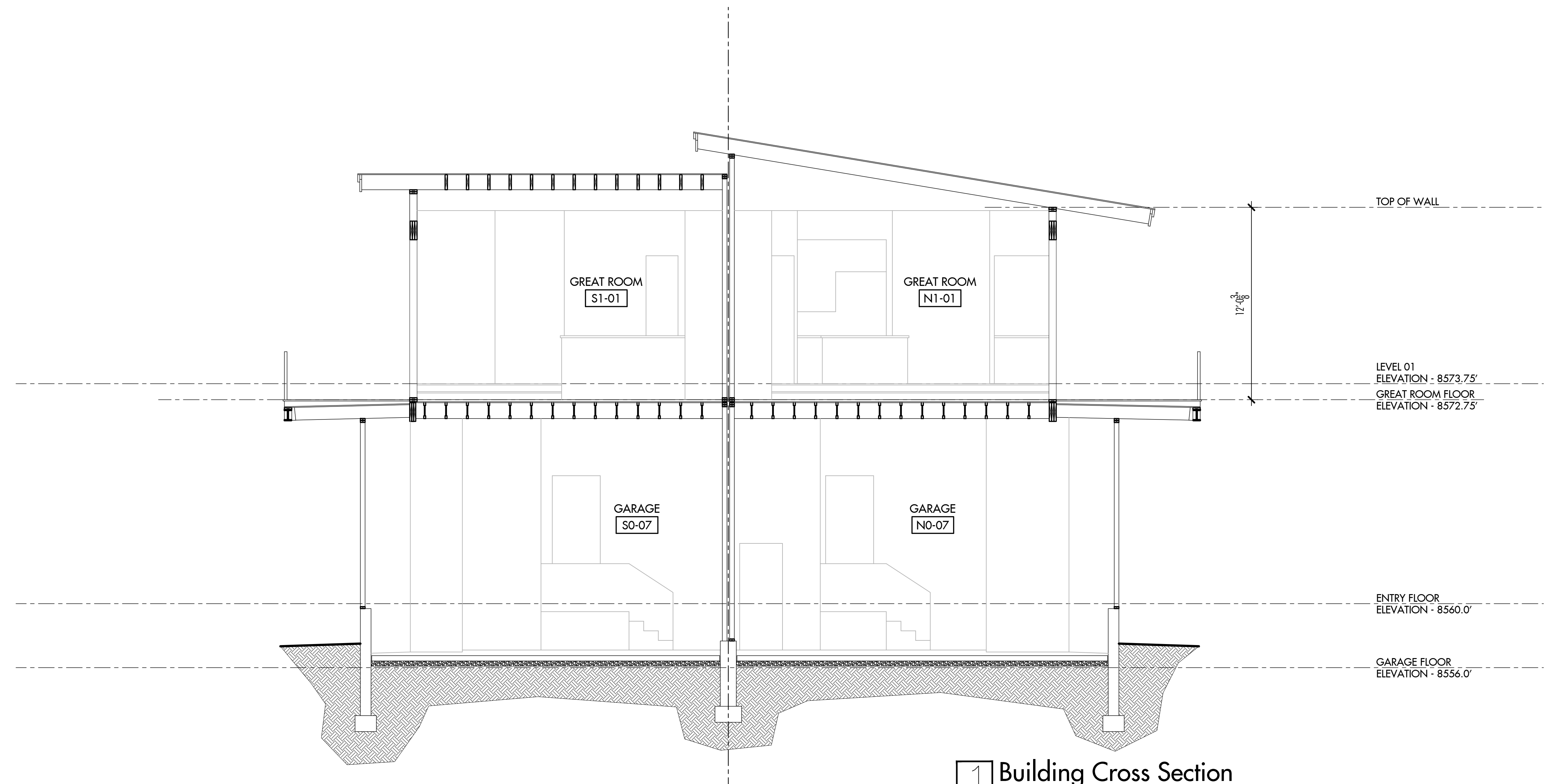
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4822 Meadow Lane  
Residence  
  
Lot 9, Block 7  
Bighorn  
Vail, CO

**Building  
Cross  
Sections**

PROJECT NO:	18-259	<b>A3.3</b>
DATE:	July 12, 2019	
DRAWN BY:	rd	
SCALE:	1/4" = 1'0"	





**1 Building Cross Section**  
Scale: 1/4" = 1'0"

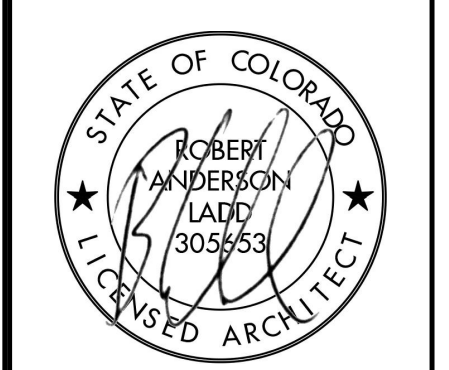
ARCHITECT

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4822 Meadow Lane  
Residence  
  
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Vail, CO

**Building  
Cross  
Sections**

PROJECT NO:	18-259	<b>A3.4</b>
DATE:	July 12, 2019	
DRAWN BY:	rd	
SCALE:	1/4" = 1'0"	





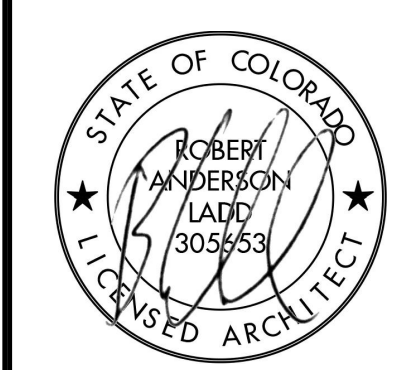
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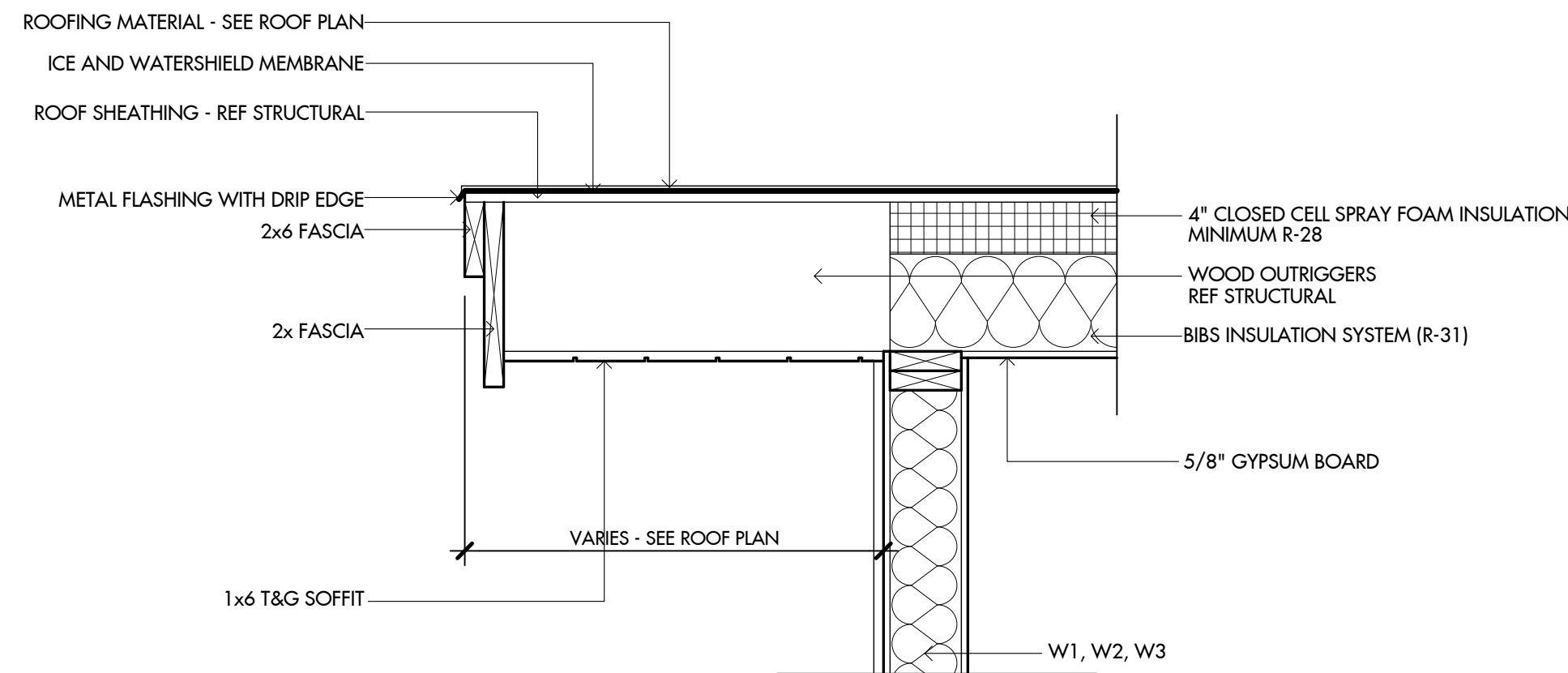
Window  
Schedule

PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	rdl
SCALE:	1/4" = 1'0"
SHEET OF:	A5.1

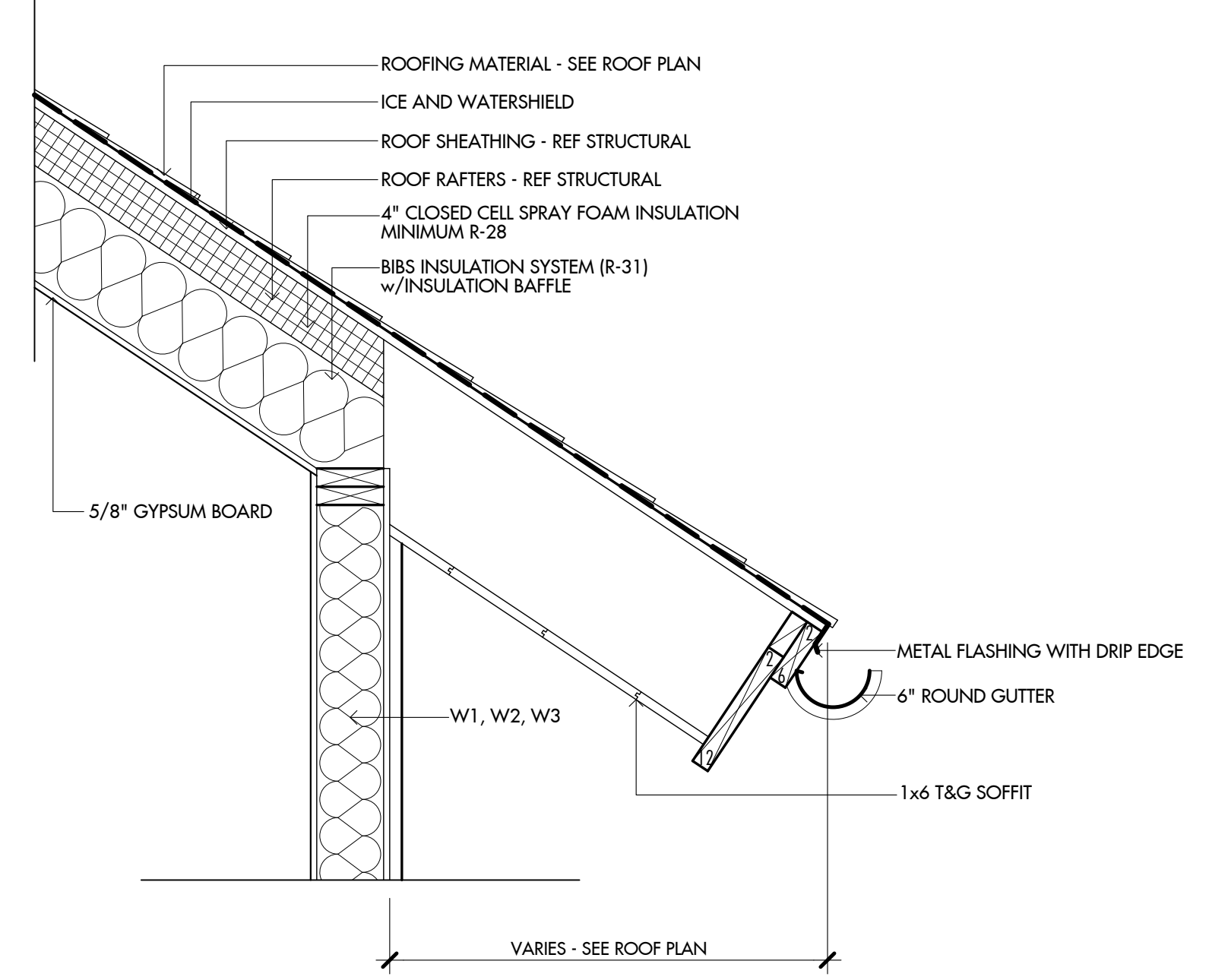




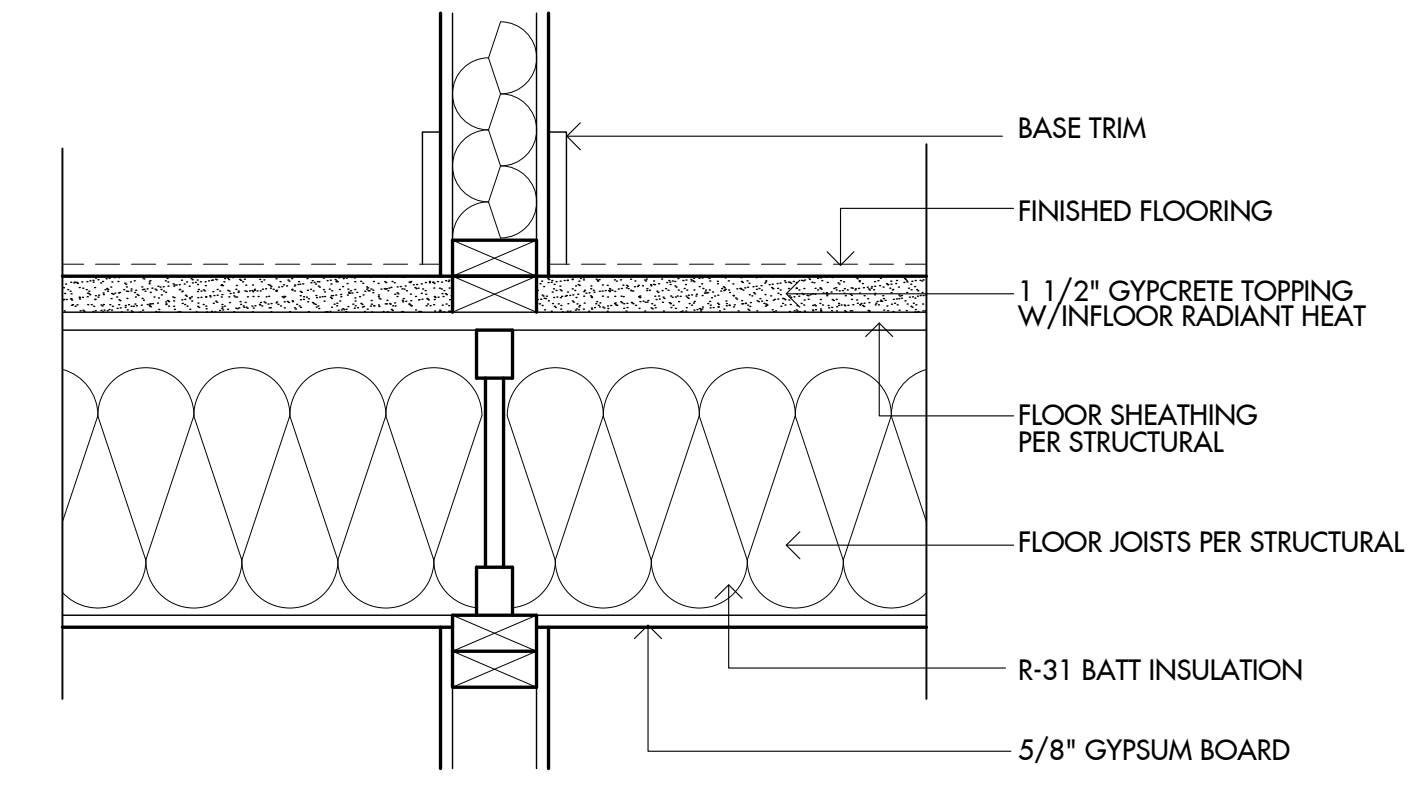




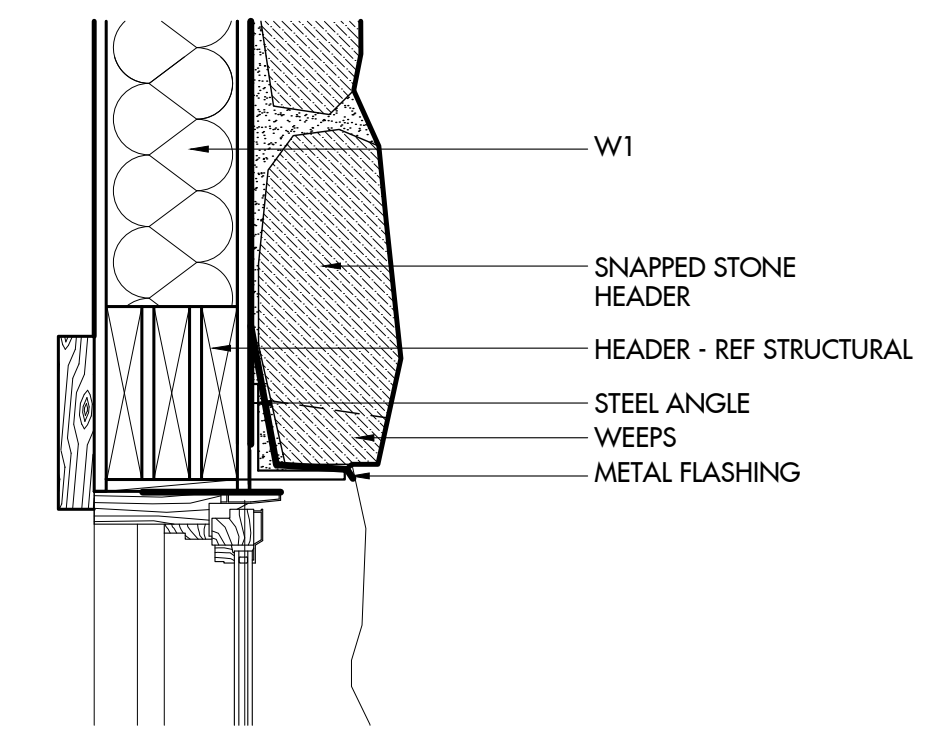
**5 Typical Roof Rake Detail**  
Scale: 1" = 1'0"



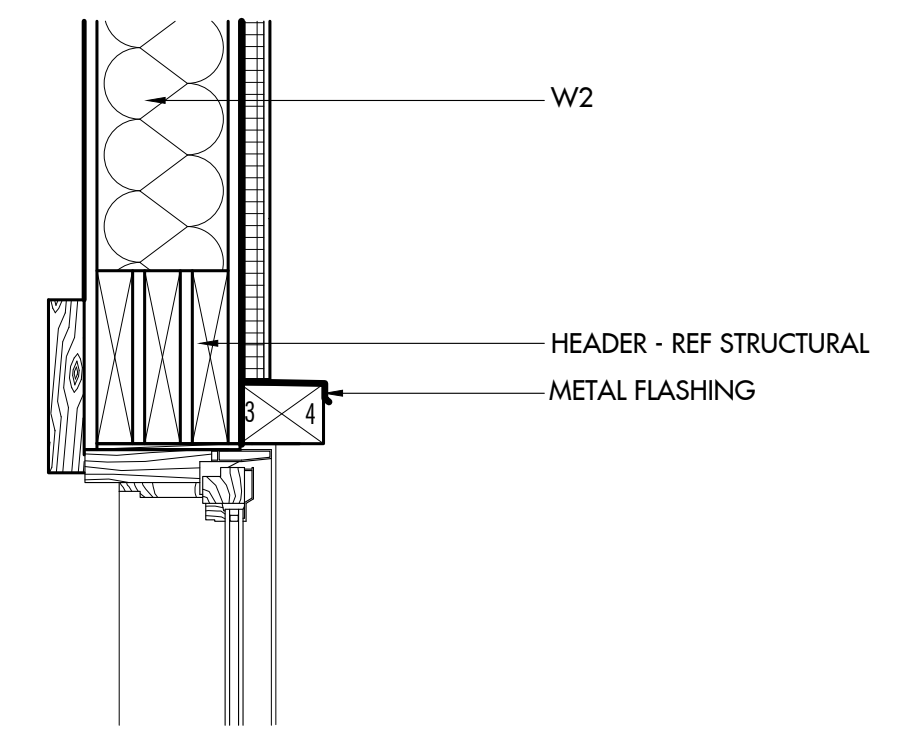
**4 Typical Roof Eave Detail**  
Scale: 1" = 1'0"



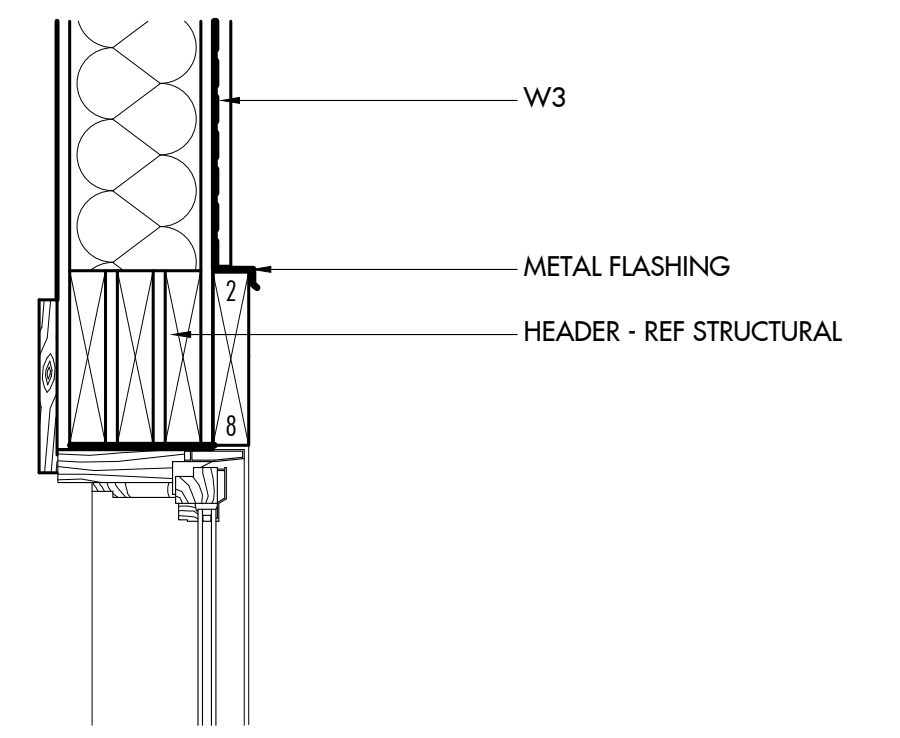
**2 Typical Floor Detail**  
Scale: NTS



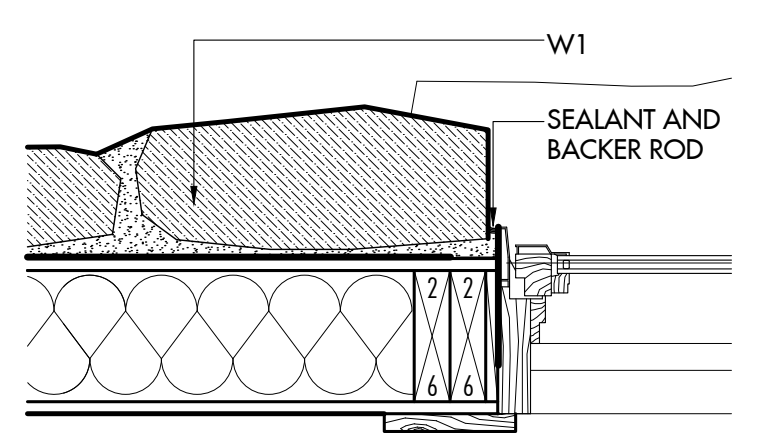
H1



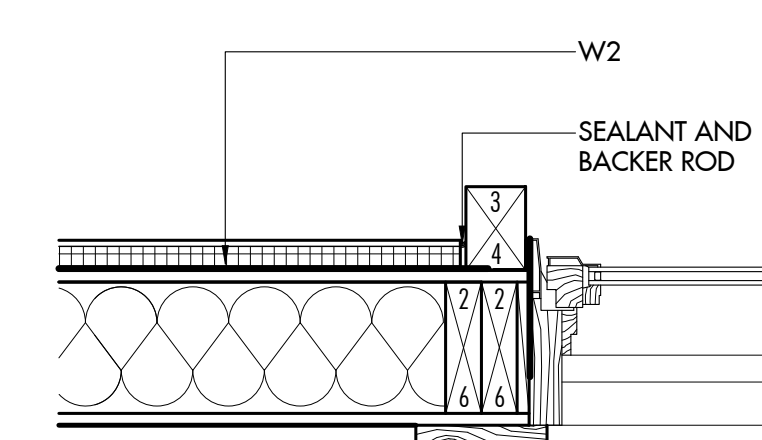
H2



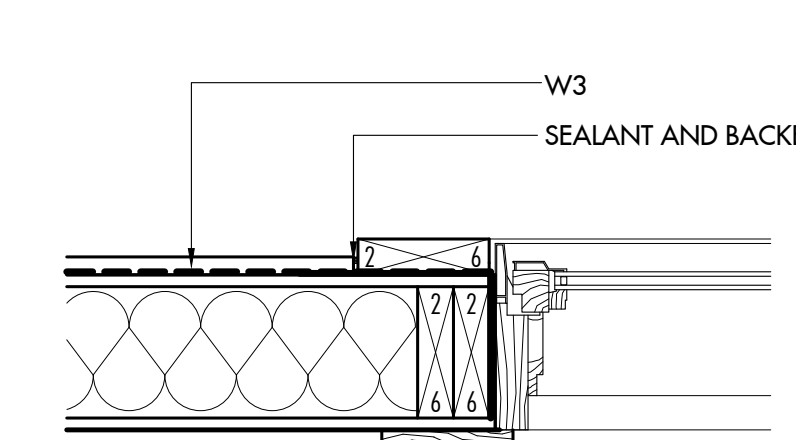
H3



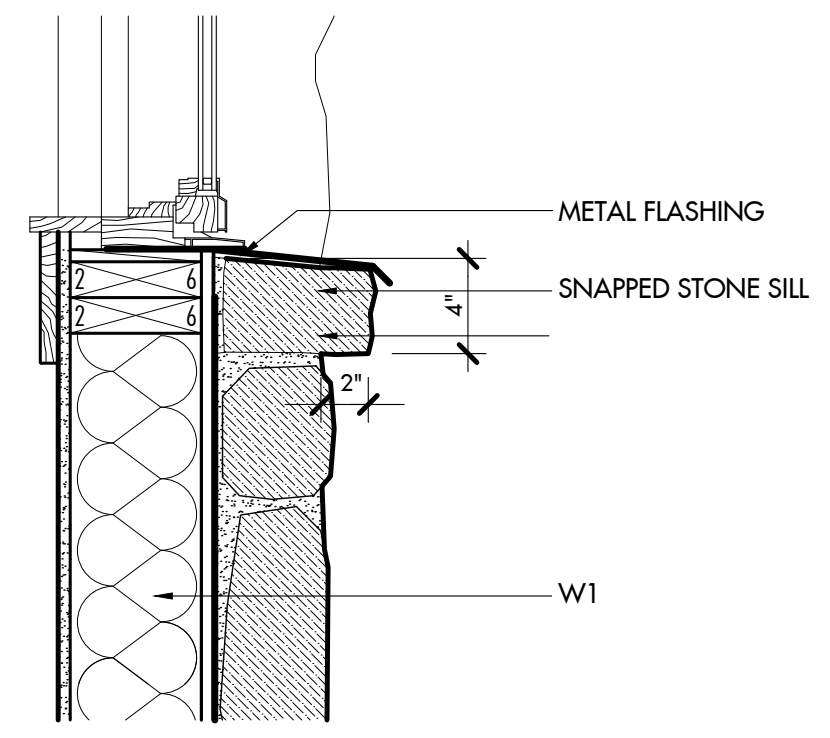
J1



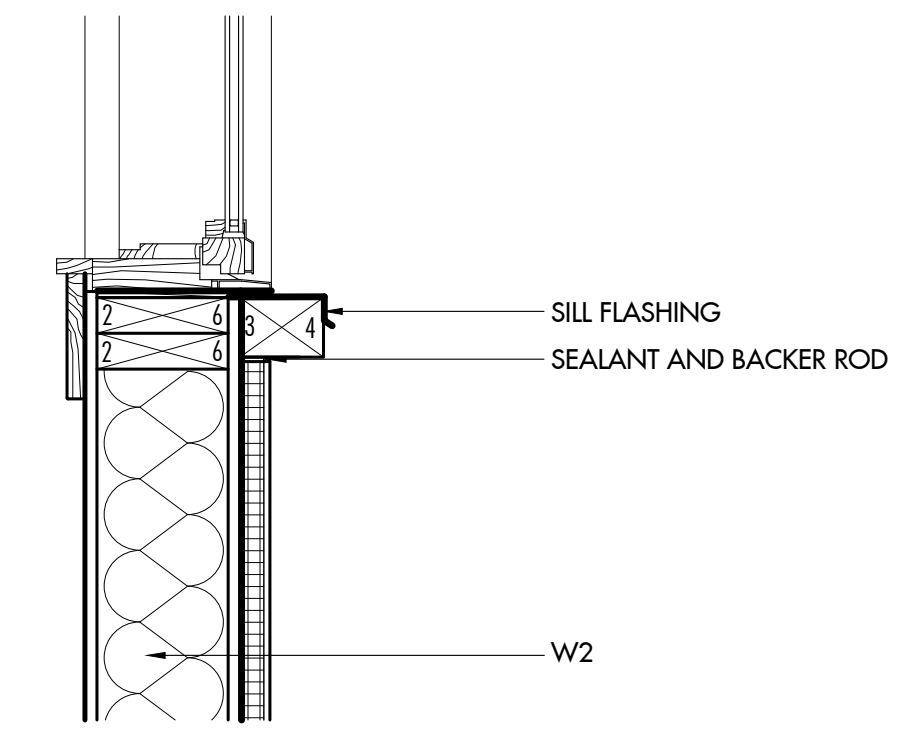
J2



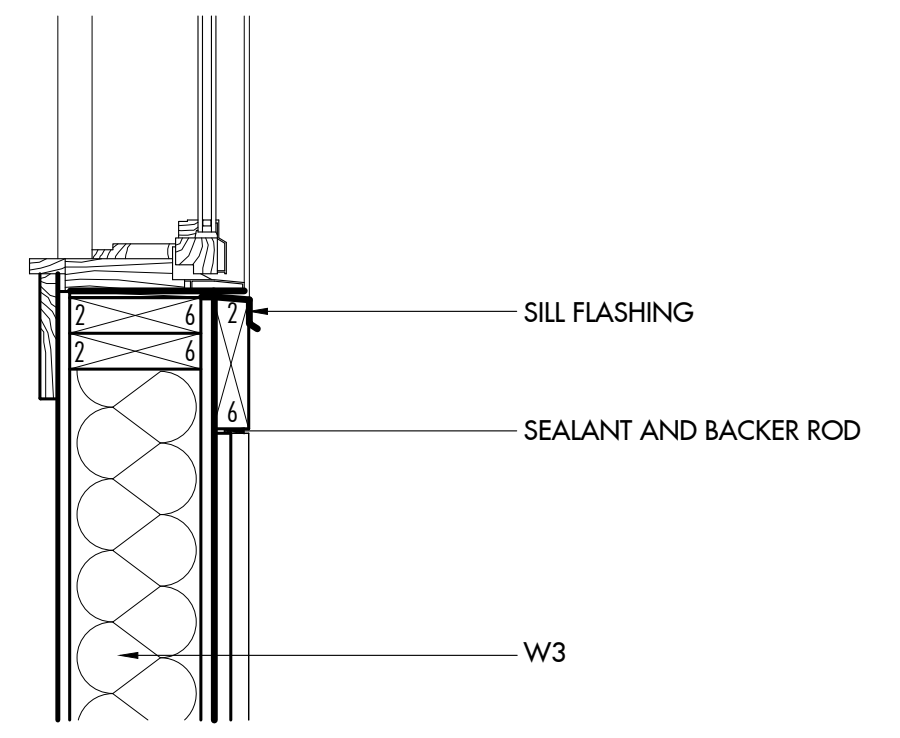
J3



S1

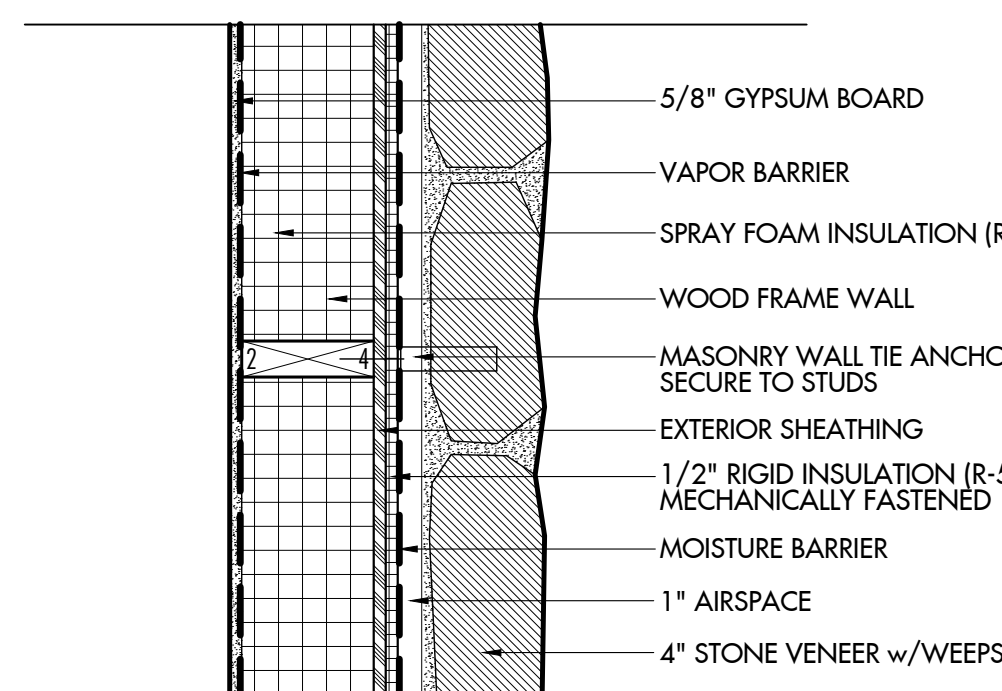


S2

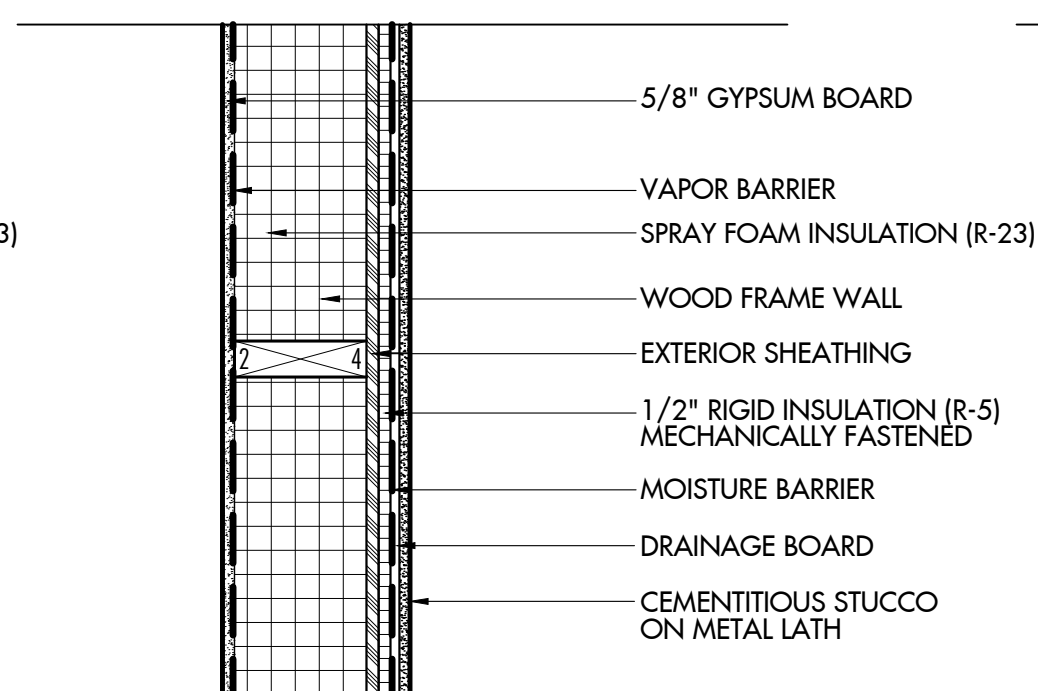


S3

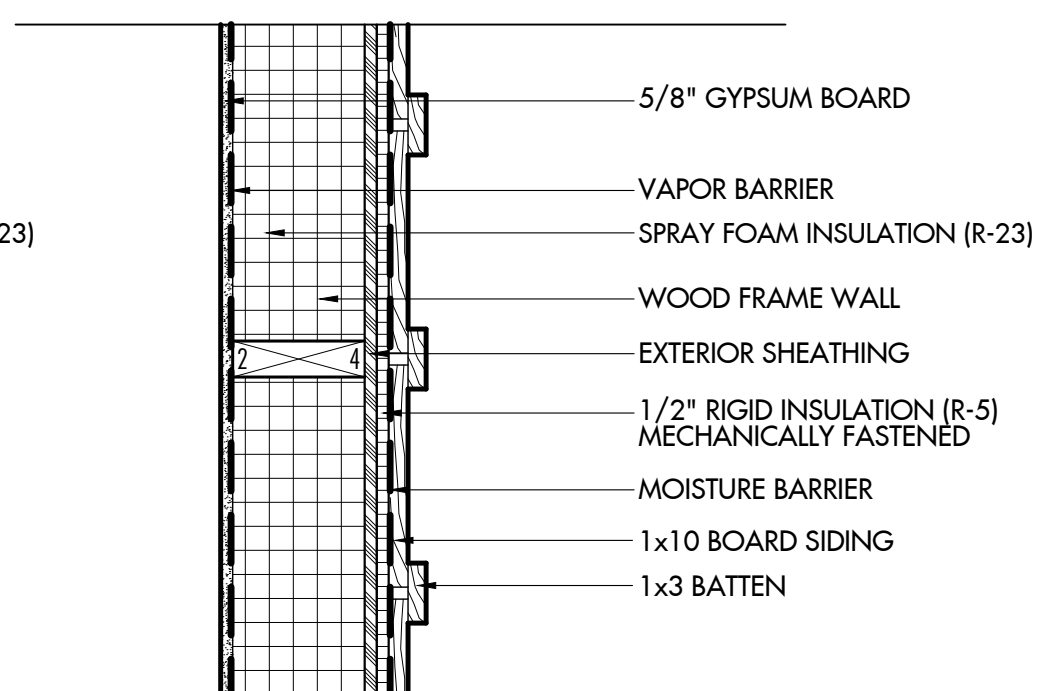
**3 Typical Window Details**  
Scale: 1 1/2" = 1'0"



W1



W2



W3

**1 Typical Wall Types**  
Scale: 1 1/2" = 1'0"

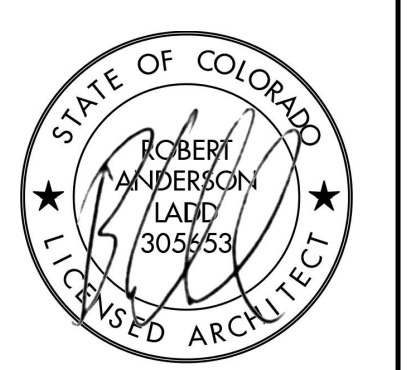
ARCHITECT

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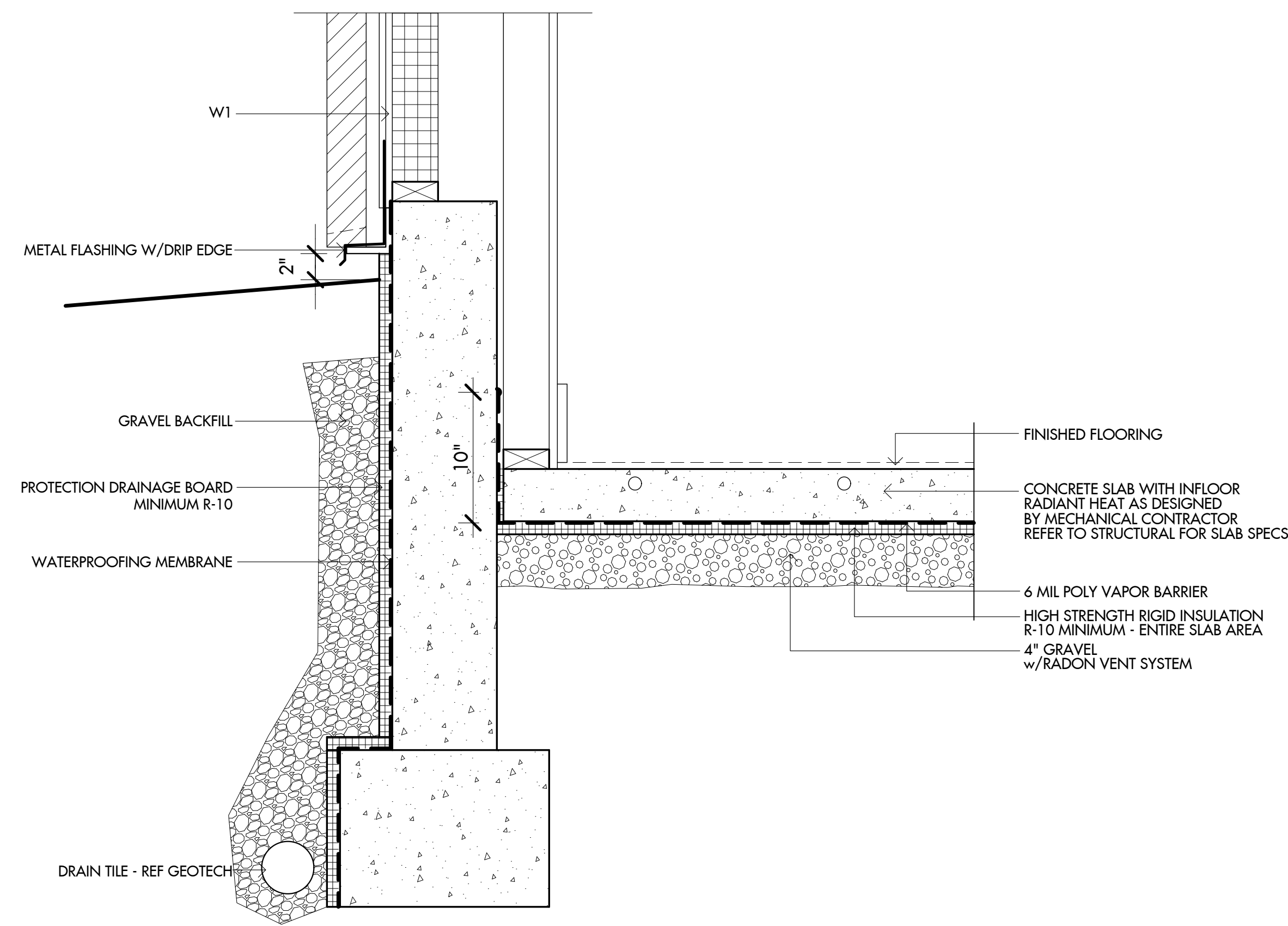
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4822 Meadow Lane  
Residence  
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Vail, CO

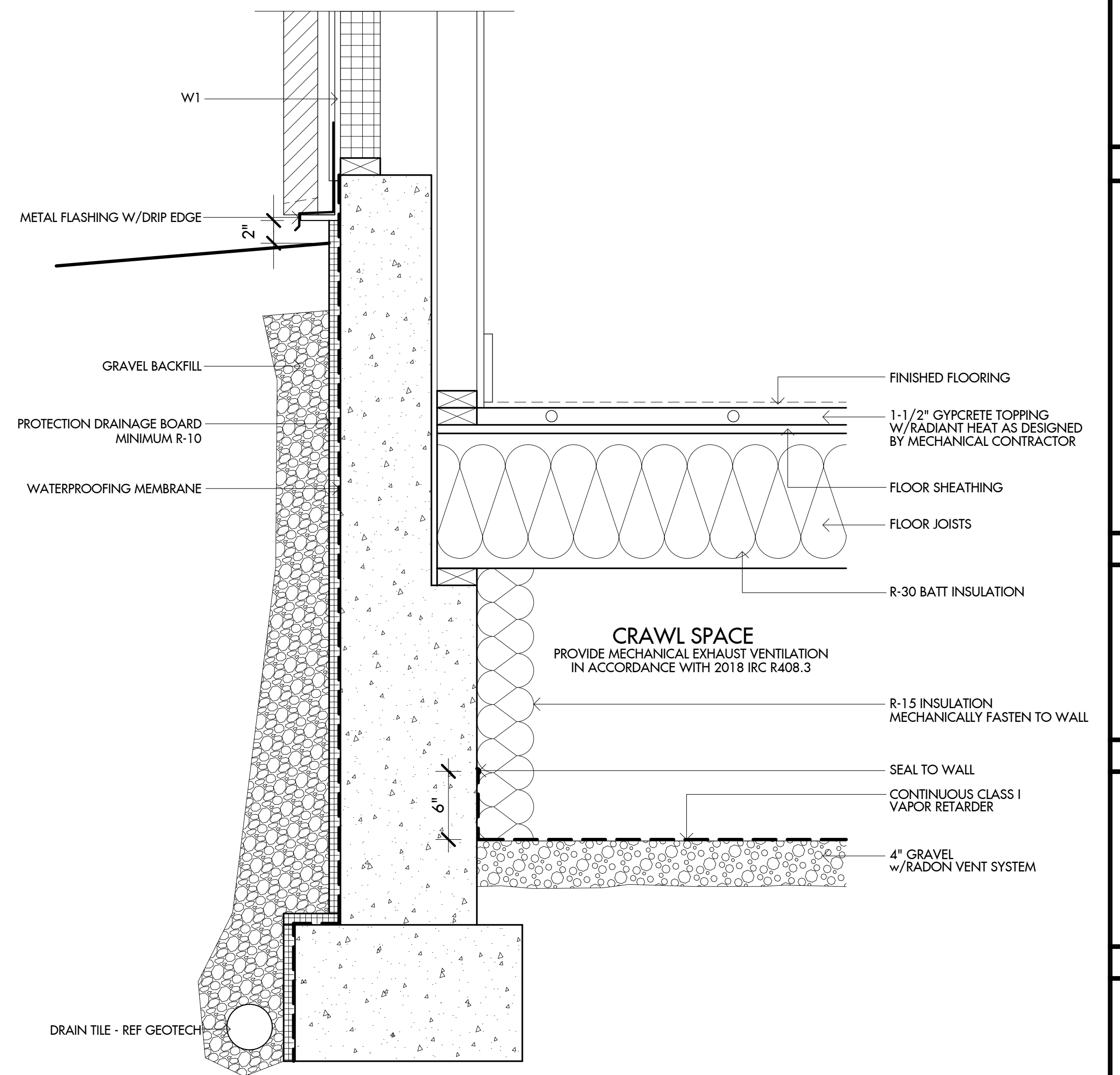
Miscellaneous  
Details

PROJECT NO:	18-259	<b>A5.3</b>
DATE:	July 12, 2019	
DRAWN BY:	ral	
SCALE:	As Noted	

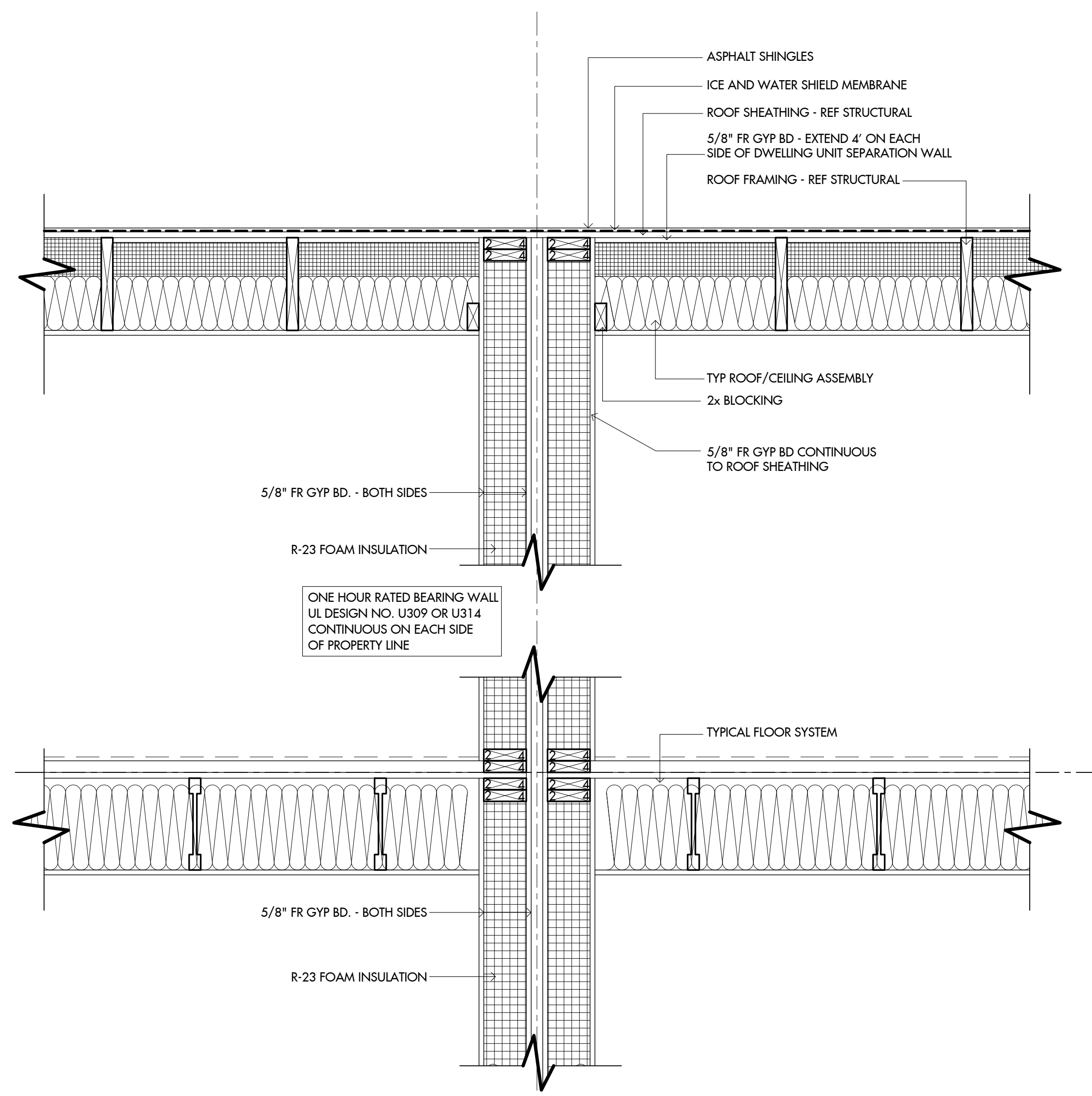




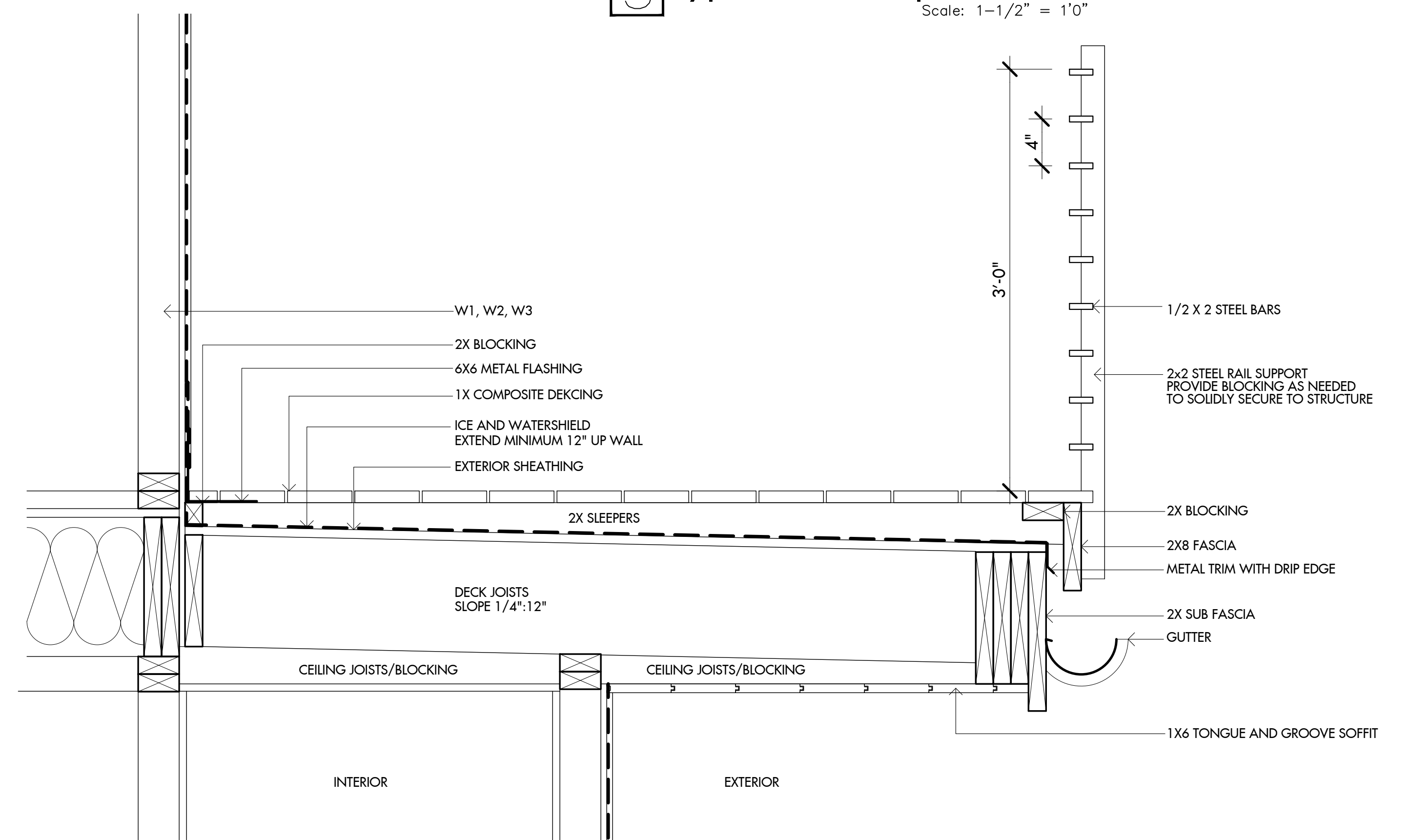
**4 Typical Slab Foundation Details**  
Scale: 1-1/2" = 1'0"



**3 Typical Crawl Space Foundation Detail**  
Scale: 1-1/2" = 1'0"



**2 Typical Dwelling Unit Separation Wall Details**  
Scale: 1" = 1'0"



**1 Typical Deck Detail**  
Scale: 1-1/2" = 1'0"

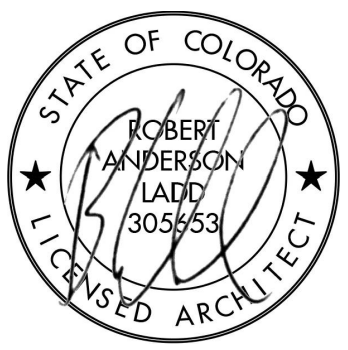
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4822 Meadow Lane  
Residence

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Bighorn  
Vail, CO

Miscellaneous  
Details

PROJECT NO:	18-259
DATE:	July 12, 2019
DRAWN BY:	rd
SCALE:	As Noted

**A5.4**



**SPECIFICATIONS:**

**DESIGN LOADS:**

CODE EDITION:	2015 IBC
<b>LIVE LOADS:</b>	
• FLAT ROOF	100 PSF
• SLOPING ROOF	60 PSF
• FLOORS	40 PSF
• EXTERIOR DECKS	100 PSF
<b>DEAD LOADS:</b>	
• FLAT ROOF	20 PSF
• SLOPING ROOF	15 PSF
• FLOORS	35 PSF (1 1/2" CONC. TOPPN)
• EXTERIOR DECKS	--- PSF
<b>LATERAL LOADS:</b>	
• BASIC WIND SPEED:	90 MPH
• EXPOSURE:	C
• SEISMIC DESIGN CLASS:	C

**CONCRETE FOUNDATION:**

- FOOTINGS HAVE BEEN DESIGNED USING AN (ASSUMED) ALLOWABLE, NON-EXPANSIVE, SOIL BEARING PRESSURE OF 3000 PSF.
- FOUNDATIONS AND RETAINING WALLS HAVE BEEN DESIGNED USING AN (ASSUMED) ACTIVE LATERAL SOIL PRESSURE OF 60 PCF AND A PASSIVE LATERAL SOIL PRESSURE OF 350 PSF.
- CONTRACTOR SHALL CONTACT A LICENSED GEOTECHNICAL ENGINEER TO VERIFY THE (ASSUMED) SOIL CONDITIONS DURING EXCAVATION. VERIFY ANY DISCREPANCIES FROM THE ORIGINAL DESIGN VALUES IN WRITING TO THE STRUCTURAL ENGINEER FOR RE-EVALUATION OF THE FOUNDATION DESIGN.
- SOFT SPOTS ARE ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE THE MATERIAL AND RE-CONACT W/ APPROVED MATERIAL (AS ALLOWED BY, AND PER THE GEO-TECH SOILS REPORT).
- IF OVER-EXCAVATION IS REQUIRED, THE CONTRACTOR SHALL PROVIDE FIELD DENSITY TESTS ON THE COMPACTED FILL UNDER THE FOOTINGS AND THE INTERIOR SLABS ON GRADE (RE: GEO-TECH SOILS REPORT).
- AVOID EXCESSIVE WETTING OR DRYING OF THE EXCAVATIONS, KEEPING THE EXCAVATION REASONABLY FREE FROM WATER DURING THE PLACEMENT OF THE CONCRETE. PROVIDE CONTINUOUS PERIMETER DRAINS AROUND THE BASE OF FOUNDATION AND RETAINING WALLS (RE: GEO-TECH SOILS REPORT FOR THE SPECIFIC UNDER-DRAIN SYSTEM REQUIREMENTS).
- FOOTINGS ARE TO BE PLACED ON UNDISTURBED NATURAL SOIL OR PROPERLY COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER INCLUDING PROOF-ROLLING AND OVER-EXCAVATION, AS REQUIRED. (NO CONCRETE SHALL BE POURED ON WATER, SNOW, OR FROZEN GROUND).
- FOOTINGS ARE TO BE PLACED ON A MINIMUM OF TWO ANCHORS PER MEMBER. ALL OF THE FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES, UNLESS OTHERWISE NOTED/ DIMENSIONED ON PLANS.
- NO BACKFILL SHALL BE PLACED AGAINST THE FOUNDATION WALLS UNTIL THE LOWER AND MAIN LEVEL FLOOR ARE IN PLACE AND PROPERLY ANCHORED (OR ADEQUATE SHORING IS PROVIDED) - CONCRETE SLABS SHALL BE PROPERLY CURED.
- BACKFILL SHALL BE COMPACTED TO MEET A #58 MINIMUM STANDARD PROCTOR DENSITY/FIELD DENSITY PER SITE PLAN DESIGN AND THE RECOMMENDATION REPORT. BACKFILL SHALL BE PLACED IN 12" MAXIMUM VERTICAL LIFTS (PLACED EQUALLY ON EACH SIDE OF WALL, WHERE APPLICABLE) OR AS DETAILED IN THE GEO-TECH SOILS REPORT AND SHALL BE FREE OF ORGANIC/ VEGETATIVE MATERIAL AND COMPACTED IN A MANNER THAT DOES NOT DAMAGE THE CONCRETE FOUNDATION, WATERPROOFING OR DAMP-PROOFING MATERIAL.
- FINAL BACKFILL GRADES SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. DESIGN AND SHALL CONFORM TO ALL THE REQUIREMENTS LISTED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL PROVIDE CRAWLSPACE VENTILATION PER THE IBC REQUIREMENTS.

**REINFORCED CONCRETE:**

- STRUCTURAL CONCRETE CONSTRUCTION WORK SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE ACI "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND THE ACI 318 MANUAL.
- CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I/II SULFATE-RESISTANT PORTLAND CEMENT, AGGREGATE AND WATER, TO SATISFY THE FOLLOWING REQUIREMENTS:
 

ELEMENT	F <sub>c</sub> MIX TYPE	MAX W/C RATIO	% AIR
CONC. PIERS	3000 PSI	----	----
FOOTINGS	3000 PSI	----	----
FOUNDATION WALLS	3500 PSI	----	----
INTERIOR SLABS ON GRADE	4000 PSI	0.5	----
EXTERIOR SLABS ON GRADE**	4500 PSI	0.45	6-8%

\*\* MAX SLUMP SHALL NOT EXCEED 4". \*\*
- HOT AND COLD WEATHER CONCRETE PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS IN THE ACI "MANUAL OF CONCRETE PRACTICE" (IT IS HIGHLY RECOMMENDED THAT NO CONCRETE SHALL BE POURED WHEN THE TEMPERATURE IS BELOW 40° F).
- THE BUILDER AND OWNER SHOULD BE MADE AWARE OF THE CHANGE OF MOVEMENT AND CRACKING OF ANY STRUCTURE PLACED DIRECTLY ON COMPACTED FILL.
- CONTRACTOR SHALL SAW OR TROWEL CUT CONCRETE SLABS ON GRADE WITH CONTROL JOINTS AT A MAXIMUM SPACING OF 12'-0" IN EACH DIRECTION WITHIN 12 HOURS OF POURING. CARRY THE REINFORCING THROUGH JOINTS AND LOCATE THE ISOLATION JOINTS AROUND THE COLUMNS AND EXTERIOR WALLS. CONSULT ENGINEER PRIOR TO CONNECTING THE SLABS ON GRADE TO OTHER PORTIONS OF THE STRUCTURE, IF NOT SPECIFIED IN THE PLANS.
- PROVIDE VAPOR BARRIER BELOW ALL INTERIOR SLABS ON GRADE, PER THE ARCHITECT AND GEOTECHNICAL ENGINEER'S REQUIREMENTS.
- EXPANSION BOLTS SHALL BE PLACED A MINIMUM OF 6 BOLT DIAMETERS FROM THE CONCRETE EDGES AND SHALL MAINTAIN A 12 BOLT DIAMETER SPACING, UNLESS NOTED OTHERWISE. BOLTS FOR BEAM AND COLUMN BEARING PLATES SHALL BE SET WITH TEMPLATES.
- ANY STOP IN CONCRETE WORK MUST BE MADE AT A THIRD POINT OF THE SPAN WITH VERTICAL BULKHEADS AND HORIZONTAL SHEAR KEYS, UNLESS NOTED OTHERWISE. SLABS, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE.

**CONCRETE'S STEEL REINFORCING:**

- CONCRETE REINFORCING DETAILING, FABRICATION AND PLACEMENT SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE ACI "DETAILS AND DETAILING OF REINFORCEMENT" ACI 315.
- ALL REINFORCING SHALL BE HIGH GRADE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60 (WITH A "S"); EXCEPT TIES, STRUPTS AND PLATE ANCHORS WHICH SHALL CONFORM TO ASTM A615, GRADE 40 OR ASTM A706, GRADE 60.
- FIBER REINFORCING, AT THE SLAB ON GRADE, SHALL HAVE A FIBER LENGTH THAT COORDINATES WITH AGGREGATE SIZE PER THE MANUFACTURER'S RECOMMENDATIONS (AMOUNT OF FIBERS SHALL BE DETERMINED PER THE SUPPLIER'S SPECIFICATIONS).
- CONCRETE COVERAGE FOR REINFORCING SHALL CONFORM TO THE FOLLOWING:
  - CONCRETE POURED AGAINST EARTH: 3"
  - CONCRETE POURED IN FORMS (EXPOSED TO WEATHER OR EARTH): 3"
- LAP SPLICES OF REINFORCING SHALL BE A MINIMUM OF 48 BAR DIAMETERS FOR #6 BAR AND SMALLER, UNLESS NOTED OTHERWISE. CONTACT ENGINEER FOR SPLICING RECOMMENDATIONS PRIOR TO CONSTRUCTION, WHERE NOT SPECIFICALLY DETAILED OR NOTED (DO NOT WELD OR USE MECHANICAL REINFORCING SPLICING, UNLESS NOTED OTHERWISE).
- CONTINUOUS TOP BARS SHALL BE SPLICED AT MID-SPAN AND CONTINUOUS BOTTOM BARS OVER SUPPORTS.
- AT WALL CORNERS, MAKE BAR CONTINUOUS OR PROVIDE CORNER BARS. CORNER BARS SHALL EXTEND 3'-0" EACH SIDE OF WALL CORNER.
- AT WALL STEPS HIGHER THAN 4'-0", CONTRACTOR SHALL PLACE (2)-#5'S VERTICAL FULL HEIGHT OF WALL, AT HIGH SIDE OF ALL WALL, IN ADDITION TO WALL REINFORCING SHOWN OTHERWISE.
- AROUND ALL WALL OPENINGS IN WALLS, SLABS AND BEAMS: PLACE (2)-#5'S TO PROJECT A MINIMUM OF 2'-6" BEYOND CORNERS. PROVIDE (2)-#5 X 5'-0" DIAGONAL AT ALL THE SAME OPENINGS.
- AT COLD JOINTS, EXTEND REINFORCING A MINIMUM OF 2'-6" BEYOND JOINTS AND COORDINATE COLD JOINT LOCATIONS WITH THE STRUCTURAL ENGINEER.

**STRUCTURAL WOOD FRAMING SPECIFICATIONS:**

- WOOD FRAMING SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE NDS "SPECIFICATIONS OF STRESS GRADE LUMBER AND ITS FASTENINGS," LATEST EDITION, AND CONSTRUCTION MATERIAL SHALL CONFORM TO THE CURRENT IBC.
- FRAMING AND TRUSS LUMBER SHALL BE DRY DOUGLAS FIR-LARCH (DF), ACCORDING TO THE FOLLOWING RECOMMENDATIONS: ALL 2" NOMINAL LUMBER, EXCEPT STUDS SHALL BE DF #2 OR BETTER, AND SOLID TIMBER BEAMS AND POST 3" NOMINAL AND WIDER, SHALL BE DF #2 OR BETTER.
- ALL STUDS SHALL BE STUD GRADE DOUGLAS FIR-LARCH OR HEM-FIR (HF).
- TOP AND BOTTOM PLATES SHALL BE DOUGLAS FIR-LARCH OR HEM-FIR #2, OR BETTER. PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED HEM-FIR #1. (PRESERVATIVE TREATED LUMBER REQUIRES ALL CONNECTIONS AND NAILING BE GALVANIZED PER CODE).
- DIMENSION LUMBER (2" WIDE X 4"-12" DEEP) HAS BEEN DESIGNED ASSUMING THE FOLLOWING STRESS PROPERTIES: FLEXURAL STRESS, 1900 PSI; HORIZONTAL SHEAR, 190 PSI; MODULUS OF ELASTICITY, 1,600,000 PSI; TENSION PARALLEL TO GRAIN, 450 PSI; COMPRESSION PARALLEL TO GRAIN, 850 PSI; COMPRESSION PERPENDICULAR TO GRAIN, 625 PSI.
- DIMENSION TIMBER LUMBER (5" WIDE X 5" DEEP) HAS BEEN DESIGNED ASSUMING THE FOLLOWING STRESS PROPERTIES: FLEXURAL STRESS, 1350 PSI; HORIZONTAL SHEAR, 190 PSI; MODULUS OF ELASTICITY, 1,600,000 PSI; TENSION PARALLEL TO GRAIN, 450 PSI; COMPRESSION PARALLEL TO GRAIN, 850 PSI; COMPRESSION PERPENDICULAR TO GRAIN, 625 PSI.
- WOOD PLATES INSTALLED ON CONCRETE WALLS/ BEAMS OR STEEL BEAMS SHALL BE RIPPED TO MATCH WALL/ BEAM WIDTH.
- ANCHOR BOLTS IN WOOD SILL PLATES SHALL BE SPACED AT A MAXIMUM OF 48" ON CENTER, UNLESS NOTED OTHERWISE ON PLAN, WITH ONE ANCHOR AT 12" FROM EACH END OR CORNER AND A MINIMUM OF TWO ANCHORS PER MEMBER.
- BOLTS USED FOR WOOD FRAMING CONNECTIONS SHALL BE INSTALLED WITH STANDARD WASHERS AND NUTS.
- TYPICAL MINIMUM NAILING SHALL BE PROVIDED, WITH COMMON NAILS, ACCORDING TO THE 2015 IBC FASTENING SCHEDULE.
- FOR ALL BUILT-UP WOOD MEMBERS (BEAMS AND/ OR COLUMNS) OF (4) OR MORE, INDIVIDUAL MEMBERS SHALL BE GLUED & NAILED AND CONNECTED W/ 1/2" Ø THRU-BOLTS WITH STANDARD WASHERS AND NUTS, SPACED AT 24" O.C. - STAGGERED, IF APPLICABLE. -
- FOR ALL SOLID OR BUILT-UP COLUMNS BEARING THROUGH FLOOR JOIST SPACES, PROVIDE BLOCKING IN JOIST SPACE, WITH CROSS SECTIONAL AREA TO MATCH THE COLUMN ABOVE.
- 2X DIMENSION LUMBER FLOOR FRAMING, REQUIRES: 2X "CROSS BRIDGINS" BLOCKING SPACED AT INTERVALS NOT GREATER THAN 8'-0"; AT ALL SUPPORTS AND CANTILEVER ENDS.
- ANY HOLES REQUIRED IN THE WOOD FRAMING, SHALL BE DRILLED THRU THE CENTERLINE OF THE STUDS AND/ OR JOISTS AND SHALL NOT EXCEED A 1/2" DIAMETER.
- UNLESS NOTED OTHERWISE, STEEL CONNECTORS SUCH AS THOSE MANUFACTURED BY THE SIMPSON COMPANY SHALL BE USED TO JOIN RAFTERS/ JOISTS OR BEAMS TO OTHER BEAMS AT FLUSH-FRAMED CONDITIONS. USE NAILS SPECIFIED BY THE MANUFACTURER AND PROVIDE THE MAXIMUM NAILS SUGGESTED. CONTACT THE STRUCTURAL ENGINEER FOR ADDITIONAL CONNECTIONS AND DETAILS, AS REQUIRED.
- MANUFACTURED JOISTS SHALL BE FROM AN APPROVED MANUFACTURER AND SHALL BE EQUIVALENT IN LOAD CARRYING CAPACITY AND DEFLECTION CRITERIA TO JOISTS SHOWN ON PLANS. PROVIDE BLOCKING, BRACING, WEB STIFFENERS AND OTHER ACCESSORIES AS REQUIRED BY THE MANUFACTURER. ALTERNATIVE JOISTS OF THE SAME DEPTH AND SPACING MAY BE CONSIDERED PROVIDED THEIR LOAD CARRYING CAPACITY IS EQUIVALENT OR GREATER BENDING, SHEAR AND DEFLECTION. ALL JOIST ALTERNATIVES SHALL BE APPROVED BY THE ENGINEER OF RECORD (E.O.R.) PRIOR TO USE.
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE BEEN DESIGNED ASSUMING THE FOLLOWING STRESS PROPERTIES: FLEXURAL STRESS, 2800 PSI; HORIZONTAL SHEAR STRESS, 285 PSI; MODULUS OF ELASTICITY, 2,000,000 PSI; COMPRESSION PARALLEL TO GRAIN, 3000 PSI.

**STRUCTURAL WOOD FRAMING ASSEMBLIES:**

- ALL EXTERIOR WALLS/ SURFACES SHALL BE SHEATHED WITH PLYWOOD OR OSB, TYPICAL, UNO. (ANY PANEL IN CONTACT WITH THE EXTERIOR SHALL BE EXT. GRADE).
- PANELS SHALL BE IDENTIFIED WITH THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS1, LATEST EDITION FOR PLYWOOD, TYPICAL ALL ASSEMBLIES.
- TYPICAL WOOD FRAMING ASSEMBLIES:
  - LOAD BEARING WALLS:**
    - ALL EXTERIOR WALLS SHALL BE ASSEMBLED WITH 2X6 STUDS AT 16" O.C. TO A MAXIMUM HEIGHT OF 12'-6" 2X6 STUDS AT 12" O.C. TO A MAXIMUM HEIGHT OF 14'-6", AND (2)-2X6 STUDS AT 16" O.C. TO A MAXIMUM HEIGHT OF 16'-0", TYPICAL, UNO. (STUDS LONGER THAN 16'-0" SHALL BE REPLACED WITH (1) 3/4" X 5 1/2" LVL STUDS).
    - ALL INTERIOR BEARING WALLS SHALL BE ASSEMBLED WITH 2X6 STUDS AT 16" O.C. W/ 5/8" GYPBOARD - STAGGER END JOINTS, AND FASTEN W/ #8 DRYNALL SCREWS AT 4" O.C. ALONG ALL PANEL EDGES AND AT 9" O.C. ALONG ALL INTERMEDIATE SUPPORTS; SUPPORT HORIZONTAL JOINTS W/ WOOD BLOCKING - TYPICAL, UNO.
    - CAP WALLS WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING/ INTERLOCKING CONNECTION AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITION WALLS. IF OVERLAP IS NOT POSSIBLE, STRAP TOP PLATES TOGETHER WITH METAL STRAP TIES (SIMPSON ST242 OR EQUIVALENT).
    - GABLE-END WALLS SHALL BE BALLOON-FRAMED TO THE BOTTOM OF JOISTS OR TRUSSES.
    - AT BEAM BEARING LOCATIONS IN STUD WALLS, PROVIDE MULTIPLE-STUD PACK EQUAL TO WIDTH OF BEARING MEMBER, UNLESS NOTED OTHERWISE.
    - PROVIDE 1/2" EXTERIOR PLYWOOD - STAGGER END JOINTS, AND FASTEN PER PLAN NOTES; SUPPORT HORIZONTAL JOINTS W/ WOOD BLOCKING. -
  - NON-BEARING PARTITION WALLS:**
    - INTERIOR NON-BEARING PARTITION WALLS SHALL BE 2X4 OR 2X6 STUDS AT 24" O.C. WITH 5/8" GYPBOARD, TYPICAL, UNO.
    - CAP WALLS WITH DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING/ INTERLOCKING CONNECTION AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITION WALLS. IF OVERLAP IS NOT POSSIBLE, STRAP TOP PLATES TOGETHER WITH METAL STRAP TIES (SIMPSON ST242 OR EQUIVALENT).
    - PROVIDE (2) OR (3)-2X8 OR 2X6 HEADERS OVER ALL OPENINGS IN NON-BEARING PARTITION WALLS, WITH (1)-2X4 OR (1)-2X6 TRIMMER AND (1)-2X4 OR (1)-2X6 KING STUD EACH END, TYPICAL, UNO.
    - AT BEAM BEARING LOCATIONS IN STUD WALLS, PROVIDE MULTIPLE-STUD POSTS EQUAL TO WIDTH OF BEARING MEMBER, UNLESS NOTED OTHERWISE.
- FLOOR CONSTRUCTION:**
  - INTERIOR SUB-FLOOR SYSTEM SHALL BE 3/4" T&G PLYWOOD SUBFLOOR (STURD-I-FLOOR) - STAGGER END JOINTS, GLUE AND FASTEN PER PLAN NOTES - TYPICAL, UNO. (INSTALL SHEATHING WITH LONG DIMENSION PERPENDICULAR TO JOISTS).
  - PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS AT ALL BEARING LOCATIONS. BLOCKING MATERIAL SHALL MATCH FLOOR JOIST MATERIAL.
- EXTERIOR DECK CONSTRUCTION:**
  - WOOD DECKING SHALL BE 2X DECKING. PLANKS SHALL BE SPLICED AT THE CENTER OF THE SUPPORT MEMBERS WITH ADJACENT PLANKS SPLICED AT ALTERNATE SUPPORT MEMBERS - EACH DECK PLANK SHALL BE CONNECTED TO EACH SUPPORT WITH (2)-#8 DECK SCREWS, PER MANUF. DECKING SHALL BE GLUED AT THE BUTT-JOINT WITH 40# GLUE COVERAGE - TYPICAL, UNO.
  - COORDINATE FACE PATTERN, TEXTURE AND FACTORY FINISH WITH THE ARCHITECT.
- ROOF CONSTRUCTION:**
  - PROVIDE 5/8" THICK APA PLYWOOD SHEATHING RATED 40/20 - STAGGER END JOINTS AND FASTEN PER PLAN NOTES; SUPPORT HORIZONTAL JOINTS W/ PLY CLIPS OR WOOD BLOCKING - TYPICAL, UNO. (INSTALL SHEATHING WITH LONG DIMENSION PERPENDICULAR TO JOISTS/ TRUSSES).
  - PLYWOOD SHEATHING SHALL BE APPLIED CONTINUOUSLY OVER THE PRIMARY ROOF MEMBERS (JOISTS OR TRUSSES) BELOW OVER-FRAMED AREAS TO PROVIDE ADEQUATE LATERAL STABILITY.
  - PROVIDE SIMPSON H5 HURRICANE CLIPS AT ALL ROOF JOISTS/ TRUSSES AT BEARING LOCATIONS.
  - PROVIDE SOLID BLOCKING BETWEEN ROOF RAFTERS, TRUSSES AND LADDER FRAMING AT ALL BEARING LOCATIONS. BLOCKING MATERIAL SHALL MATCH RAFTER, TRUSS CHORD OR LADDER FRAMING MATERIAL.

**STRUCTURAL STEEL:**

- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE AISC "MANUAL OF STEEL CONSTRUCTION" AND "SPECIFICATIONS AND CODE OF STANDARD PRACTICE."
- ALL STRUCTURAL STEEL, INCLUDING PLATES AND ANGLES, SHALL CONFORM TO ASTM A36, EXCEPT WIDE FLANGE BEAMS WHICH SHALL CONFORM TO ASTM #92 (50 KSI) AND EXCEPT TUBE/ HSS COLUMNS WHICH SHALL CONFORM TO ASTM A500 (46 KSI), GRADE B. THE LATEST EDITIONS OF THE REQUIREMENTS SHALL BE USED (STEEL SUPPLIER MAY OPTIONALLY PROVIDE ASTM A572, GRADE 50).
- STRUCTURAL BOLTS USED IN THE STEEL FRAMING SHALL BE A325-N, AND INSTALLED TO A MINIMUM "SNUG" TIGHT CONDITION. ALL ANCHOR BOLTS SHALL BE OF ASTM A307, AND BOLTS SHALL BE 3/4" Ø UNLESS NOTED OTHERWISE.
- STEEL BEAMS AND GIRDERS SHALL BE SUPPORTED IN A BEAM ON COLUMN BEARING CONDITION. VERIFY WITH THE STRUCTURAL ENGINEER ANY LOCATION WHERE A CONTINUOUS COLUMN WITH TAB CONNECTION IS PREFERRED.
- TYPICAL FRAMED BEAM CONNECTION SHALL CONSIST OF PAIRS OF 3/8" ANGLES WITH STEEL BOLTS AND SHALL USE THE MAXIMUM NUMBER OF BOLTS PER AISI "MANUAL OF STEEL CONSTRUCTION" TABLE II-A OF THE FRAMED BEAM CONNECTIONS SECTION AND/OR AISI "SIMPLE SHEAR CONNECTION MANUAL" WITH A325-N BOLTS (OR WELDED EQUIVALENT).
- STEEL BEAMS SHALL BE PRE-PUNCHED/ DRILLED FOR 2X TOP NAILER PLATE BOLTING, WHERE THRU-BOLTS APPEAR IN DETAILS OR PLAN NOTES.
- ALL WELDING SHALL BE PERFORMED BY AN AWS QUALIFIED WELDER CONFORMING TO "AWS STRUCTURAL WELDING CODE" AWS D11, LATEST EDITION.
- MINIMUM WELDS TO BE PER THE AISC TABLE J-2.4 BUT NOT LESS THAN A 3/16" CONTINUOUS FILLET WELD, UNLESS NOTED OTHERWISE.
- DELAY PAINTING WITHIN 3" OF THE FIELD WELDS UNTIL THE WELDS ARE COMPLETED. FIELD WELDS, BOLT HEADS, NUTS AND OTHER SURFACES THAT ARE NOT SHOP PAINTED, AS WELL AS FINISHES DAMAGED DURING SHIPPING OR ERECTION, SHALL BE FIELD PAINTED DIRECTLY AFTER ERECTION.
- STRUCTURAL STEEL SUPPLIER SHALL FURNISH LINTELS FOR THE VENEER OPENINGS\* OR AS SHOWN OTHERWISE ON STRUCTURAL DRAWINGS.
  - \* ONE END OF THE LINTEL SHALL BE FREE TO MOVE HORIZONTALLY (ALLOW FOR ELONGATION/ SHORTENING), TO BEAR A MINIMUM OF 6" AT EACH END. \*
- THE STONE VENEER SUPPORT; AT THE FIREPLACE STONE VENEER, OR ANY STONE VENEER ABOVE FRAMING SHALL BE PROVIDED AS FOLLOWS:
  - THE CHIMNEY/WALL VENEER ABOVE THE ROOF SHEATHING SHALL BE SUPPORTED BY A L4X6X3/8 OR L4X8X3/8 STL. ANGLE BOLTED TO, A HORIZ./ SLOPING LVL LEDGER CUT INTO THE WALL WITH (3)-16D NAILS, CONNECT STL. ANGLE TO LEDGER W/ 5/8" Ø THRU-BOLTS AT 16" O.C. - THE VENEER LOAD IS NOW SUPPORTED BY THE CHIMNEY/WALL STUD WALL.
  - THE CHIMNEY/WALL STUD WALL EITHER TRANSFERS THE LOAD TO THE FLOOR FRAMING BELOW OR IS CONTINUOUS TO A CONCRETE SUB-STRUCTURE BELOW.
- IF THE FIREPLACE/WALL STONE VENEER TERMINATES, OR IS CONTINUED TO THE FLOOR FRAMING BELOW, THE STONE VENEER IS SUPPORTED ON AN LVL BEAM PACK IN THE FLOOR FRAMING RE: PLAN.
- CONTRACTOR'S OPTION: IF THE FIREPLACE/WALL STONE VENEER CONTINUES TO FRAMING BELOW, THE VENEER MAY BE SUPPORTED BY A L4X6X3/8 STL. ANGLE BOLTED TO, A LVL LEDGER CUT INTO THE FIREPLACE/WALL FLUE STUD WALL WITH (3)-16d NAILS, CONNECT STL. ANGLE TO LEDGER W/ 5/8" Ø THRU-BOLTS AT 12" O.C. - THE VENEER LOAD NOW CONTINUES TO THE LEVEL FURTHER BELOW VIA THE STUD WALL, PROVIDE LVL BLOCKING, IN THE FLOOR FRAMING, FROM THE STUD WALL ABOVE TO THE STUD WALL BELOW.

**GROUT:**

- GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL BE A NON-SHRINK, NON-METALLIC GROUT.
- GROUT SHALL BE PROVIDED:
  - BELOW BETWEEN COLUMN BASE PLATES AND CONCRETE SUPPORT.
  - BELOW BETWEEN BEAM BEARING PLATES AND CONCRETE SUPPORT.

**STRUCTURAL GLUED LAMINATED TIMBER:**

- MATERIALS, MANUFACTURER AND QUALITY CONTROL SHALL BE IN CONFORMANCE WITH AITC PRODUCT STANDARD PS 66, "STRUCTURAL GLUED LAMINATED TIMBER" OR LATEST EDITION.
- LAMINATED MEMBERS SHALL BE FABRICATED USING DOUGLAS FIR-LARCH (DF) AT 12% MOISTURE CONTENT IN ACCORDANCE WITH NGLIB AND PERTAIN TO THE FOLLOWING SYMBOLS:
  - 24F-V4 SIMPLE-SPAN BEAMS
  - 24F-V8 CONTINUOUS OR CANTILEVER BEAMS
- ALL MEMBERS SHALL BE ARCHITECTURAL APPEARANCE GRADE, UNLESS NOTED OTHERWISE BY THE ARCHITECT.
- ALL MEMBERS SHALL BE PROTECTED FROM DAMAGE AND EXPOSURE TO WEATHER/ MOISTURE PRIOR TO AND DURING CONSTRUCTION.
- ADHESIVES SHALL MEET THE REQUIREMENTS FOR WET CONDITIONS OF SERVICE.
- DO NOT CAMBER LAMINATED MEMBERS UNLESS SPECIFICALLY INDICATED ON THE PLANS.

**GENERAL SPECIFICATIONS:**

- COORDINATE REQUIREMENTS FOR MECHANICAL/ ELECTRICAL/ PLUMBING PENETRATIONS THROUGH STRUCTURAL ELEMENTS WITH THE STRUCTURAL ENGINEER. PRIOR TO INSTALLATION OF SUCH EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE, THE CONTRACTOR SHALL OBTAIN APPROVAL FOR CONNECTIONS AND SUPPORT. CONTRACTOR SHALL FURNISH REQUIRED HANGERS, CONNECTIONS, ETC. REQUIRED FOR INSTALLATION OF SUCH ITEMS, UNLESS SPECIFICALLY NOTED ON PLANS.
- ENGINEERS ACCEPTANCE MUST BE OBTAINED FOR ALL STRUCTURAL SUBSTITUTIONS.
- ALL MASONRY AND STONE VENEER SHALL BE ATTACHED TO THE WALLS PER THE CODE REQUIREMENTS.
- COORDINATE REQUIREMENTS FOR MECHANICAL/ ELECTRICAL/ PLUMBING PENETRATIONS THROUGH STRUCTURAL ELEMENTS WITH THE STRUCTURAL ENGINEER. PRIOR TO INSTALLATION OF SUCH EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE, THE CONTRACTOR SHALL OBTAIN APPROVAL FOR CONNECTIONS AND SUPPORT. CONTRACTOR SHALL FURNISH REQUIRED HANGERS, CONNECTIONS, ETC. REQUIRED FOR INSTALLATION OF SUCH ITEMS, UNLESS SPECIFICALLY NOTED ON PLANS.
- PROVIDE ASPHALTIC MASTIC-COATING ON ALL STEEL AND WOOD FRAMING EXPOSED TO SOIL. ADDITIONALLY, PROVIDE WATERPROOFING, VAPOR BARRIER, ETC. AS SHOWN ON THE ARCHITECTURAL DRAWINGS AND AS INDICATED IN THE SPECIFICATIONS.
- SUBMIT SHOP AND ERECTION DRAWINGS FOR ALL STRUCTURAL STEEL, MISCELLANEOUS STEEL, AND STEEL DECK TO STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THIS REVIEW IS FOR GENERAL COMPLIANCE WITH THE INTENT OF THE STRUCTURAL DESIGN. THE MANUFACTURING OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN REVIEW OF THE SHOP DRAWINGS WILL BE AT THE RISK OF THE CONTRACTOR. THE ARCHITECT AND/OR CONTRACTOR ARE RESPONSIBLE FOR CHECKING QUANTITIES, DIMENSIONS AND COORDINATION WITH OTHER TRADES.
- NON-STRUCTURAL ELEMENTS, ALL ELEMENTS NOT SPECIFICALLY STRUCTURAL, SUCH AS NON-BEARING PARTITIONS ATTACHED TO AND/OR SUPPORTED BY THE STRUCTURE SHALL TAKE INTO ACCOUNT ANY DEFLECTIONS AND OTHER STRUCTURAL MOVEMENT.
- FIRE PROTECTION: STRUCTURAL AND NON-STRUCTURAL ELEMENTS SHALL BE PROVIDED THE ADEQUATE FIRE PROTECTION, PER CODE, FOR THE TYPE OF CONSTRUCTION SPECIFIED BY THE ARCHITECTURAL DRAWINGS.
  - THE STRUCTURAL DRAWINGS ILLUSTRATE THE COMPLETED STRUCTURE WITH ALL ELEMENTS IN THEIR FINAL POSITIONS, SUPPORTED AND BRACED. THE CONTRACTOR, IN THE PROPER SEQUENCE, SHALL PROVIDE SHORING AND BRACING, AND NECESSARY PRECAUTIONS, AS MAY BE REQUIRED DURING CONSTRUCTION TO ACHIEVE THE FINAL COMPLETED STRUCTURE. CONTACT ENGINEER FOR CONSULTATION (NOT IN CONTRACT) AS REQUIRED.
  - THE STRUCTURAL ENGINEER SHALL BE CONTACTED DURING THE CONSTRUCTION PHASE TO MAKE THE JOB SITE OBSERVATIONS NECESSARY TO CONFIRM THAT THE CONSTRUCTION IS PROCEEDING ACCORDING TO THE PLANS AND SPECIFICATIONS. JOB-SITE OBSERVATIONS SHALL NOT BE CONSIDERED CONSTRUCTION APPROVALS (STRUCTURAL ENGINEER SHALL BE CONTACTED BY THE GENERAL CONTRACTOR AND NOT THE SUB-CONSULTANTS GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR THE SUB-CONSULTANTS WORK).
  - REQUESTS FOR MATERIAL SUBSTITUTIONS, FRAMING AND CONNECTION CHANGES MUST BE SUBMITTED IN WRITING, FOR REVIEW.
- ALL OMISSIONS OR DISCREPANCIES BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS, AS THEY MAY OCCUR, SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO OR DURING THE CONSTRUCTION WORK INVOLVED. RELEASE OF THESE DRAWINGS ANTICIPATES COOPERATION AND CONTINUED COMMUNICATION BETWEEN THE CONTRACTOR AND THE ENGINEER. PROVIDE THE BEST POSSIBLE STRUCTURE. THESE DRAWINGS HAVE BEEN PREPARED FOR THE USE OF A LICENSED CONTRACTOR, EXPERIENCED WITH THE CONSTRUCTION TECHNIQUES AND SYSTEMS DEPICTED.

**bpse**  
**STRUCTURAL DESIGNS**  
 PO BOX 8007  
 AVON, CO 81620  
 PH: 970-331-6740  
 FAX: 1-888-562-4685  
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 BIGHORN SUBDIVISION, LOT 9, BLOCK 7  
 VAIL, CO

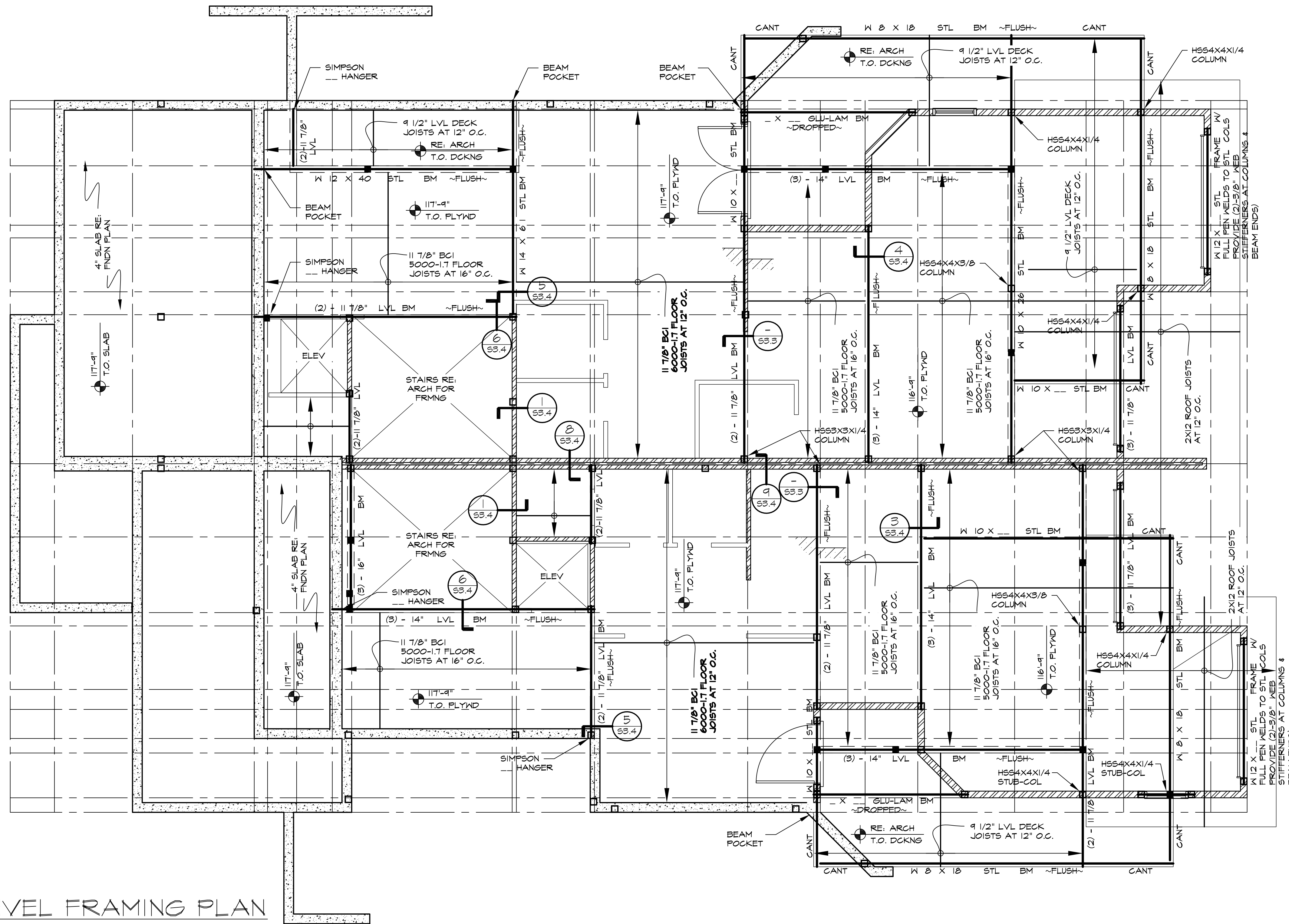
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		12/8/18	
PROJECT:	1476	DATE:	
STRT DT:	6/2019	ISSUE/REVISION	
DRWN BY:	FJP	NO	

PROFESSIONAL ENGINEER  
 40794  
 07/15/18  
 SHEET  
 S.1

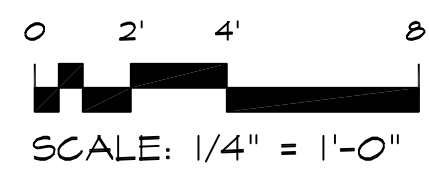








SECOND LEVEL FRAMING PLAN



NOTES:

- INTERIOR FLOOR SYSTEM SHALL BE 3/4" T&G PLYWOOD SUBFLOOR, EXPOSURE 1, 24" APA RATED - STAGGER END JOINTS, GLUE AND FASTEN W/ 10d NAILS AT 6" O.C. ALONG ALL PANEL EDGES AND AT 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS - ON 11 7/8" BCI FLOOR JOISTS, RE: PLAN FOR SERIES AND SPACING, TYPICAL, U.N.O.
- "BCI" INDICATES: BUILT-UP "I"-SECTION FLOOR JOIST AS MANUFACTURED BY BOISE CASCADE CORPORATION. ALTERNATIVES SHALL HAVE THE SAME OR GREATER CAPACITIES AND SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD, PRIOR TO INSTALLATION.
- LOW ROOF SYSTEM SHALL BE 5/8" FLYWOOD, EXPOSURE 1, 40/20 APA RATED - STAGGER END JOINTS AND FASTEN W/ 8d NAILS AT 6" O.C. ALONG ALL PANEL EDGES AND AT 12" O.C. LONG ALL INTERMEDIATE SUPPORTS; SUPPORT HORIZONTAL JOINTS W/ PLY CLIPS OR WOOD BLOCKING - ON 2X12 ROOF JOISTS, RE: PLAN FOR SPACING, TYPICAL, U.N.O. PROVIDE SIMPSON H HURRICANE CLIPS AT ALL ROOF TRUSSES AT BEARING WALL LOCATIONS (A35 CLIPS AT LOW SHED ROOF TO TIMBER BEAM).
- LOW ROOF LEDGER SHALL BE A (1)-2X12, ~FLUSH~ LEDGER W/ (3)-1/4" φ SIMPSON SDS OR OLY SCREWS AT 16" O.C. (INTO EACH STUD).
- CONTRACTOR TO PROVIDE ICE / WATER SHIELD AT LOW ROOF / WALL INTERFACE PER ARCH REQUIREMENTS.
- HANG TIMBER/ LVL BEAMS FROM TIMBER/ LVL/ STL. BEAMS AND LEDGERS WITH SIMPSON HU(S)-TF OR HU-TF / HWJ TOP FLANGE BEAM HANGERS, TYPICAL, U.N.O.
- HANG ROOF JOISTS FROM ~ FLUSH ~ BEAMS AND LEDGERS WITH SIMPSON ITS TOP FLANGE HANGERS, TYPICAL, U.N.O.
- HANG FLOOR JOISTS FROM ~ FLUSH ~ BEAMS AND LEDGERS WITH SIMPSON ITS TOP FLANGE HANGERS, TYPICAL, U.N.O.
- HANG DECK JOISTS FROM ~ FLUSH ~ BEAMS AND LEDGERS WITH SIMPSON ITS TOP FLANGE HANGERS, TYPICAL, U.N.O.

NOTES (CONT.):

- INDICATES COLUMN DOWN OR THRU FRAMING.
- INDICATES COLUMN UP FROM FRAMING OR SUB COLUMN.
- ▨ INDICATES EXTERIOR WALL OR INTERIOR BEARING (OR SHEAR) WALL.
- INDICATES BEARING WALL UP ONLY; TERMINATING ON A BEAM AT THIS LEVEL.
- INDICATES INTERIOR NON-BEARING PARTITION WALL BELOW; LOCATE PER ARCH DWGS.
- INDICATES CONCRETE FOUNDATION WALL OR PIER.
- ~ xxxx~xx~ INDICATES TOP OF BEAM ELEVATION.
- TOP OF BEAM ELEVATION, TYP. AT LOW ROOF = ~ RE: ARCH DWGS ~.
- "LVL" INDICATES: LAMINATED VENEER LUMBER BEAM AS MANUFACTURED BY BOISE CASCADE CORPORATION.
- EXTERIOR DECK FLOOR SYSTEM SHALL BE 9 1/2" LVL DECK JOISTS, RE: PLAN FOR SPACING, W/ 2X DECKING.
- EXTERIOR DECK LEDGER SHALL BE (2)-2X10, GLUED AND NAILED, ~ FLUSH ~ LEDGER W/ (2)-1/2" φ EXP. ANCHORS OR THRU- BOLTS AT 18" O.C. - STAGGERED - (1)-2X12 AGAINST CONCRETE IS REQUIRED TO BE TREATED, TYPICAL, U.N.O.
- VERIFY PLATE HEIGHT ELEVATIONS W/ ARCH DWGS.
- EXTERIOR HEADERS: (3)-2X8 W/ (1)-2X6 TRIMMER AND (1)-KING STUD TO A MAX SPAN OF 3'-6"; (3)-2X12 W/ (2)-2X6 TRIMMERS AND (1)-KING STUD TO A MAX SPAN OF 6'-0", TYPICAL, U.N.O. (ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD SHIMS AS REQUIRED).

NOTES (CONT.):

- ALL WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO ROOF (INCLUDING RAKE WALLS). STUDS LONGER THAN 16'-0" SHALL BE REPLACED WITH 1 3/4" X 5 1/2" LVL STUDS.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X6 STUDS SPACED AT 16" O.C., TYPICAL, U.N.O. (RE: STRUCTURAL GENERAL NOTES) W/ 1/2" EXTERIOR PLYWOOD, EXPOSURE 1, 24/16 APA RATED - STAGGER END JOINTS, AND FASTEN W/ 8d NAILS AT 6" O.C. ALONG ALL PANEL EDGES AND AT 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS; SUPPORT HORIZONTAL JOINTS W/ WOOD BLOCKING.
- RE: WINDOW MANUFACTURER FOR SIZE AND LOCATION OF ROUGH OPENINGS IN STUD WALLS.
- STRUCTURAL COLUMNS SHALL BE (3)-2X6 OR (4)-2X4 MINIMUM, TYPICAL, U.N.O.
- MINIMUM SUPPORT AT 6X AND LARGER BEAMS SHALL BE (4)-2X6 COLUMN, TYPICAL, U.N.O.
- STAIR HEADROOM CLEARANCE, FROM TOE OF TREAD, SHALL BE NO LESS THAN 6'-8", PER CODE REQUIREMENTS.
- RE: CONTRACTOR FOR HANDRAIL AND STAIR FRAMING.
- THE ENGINEER HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK.

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PO BOX 8007  
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PH: 970-331-6740  
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PRIVATE RESIDENCE

4822 MEADOW LANE  
BIGHORN SUBDIVISION; LOT 9, BLOCK 7  
VAIL, CO

SECOND LVL PLAN

ISSUED FOR PERMIT REVIEW	
DATE	NO
ISSUE/REVISION	

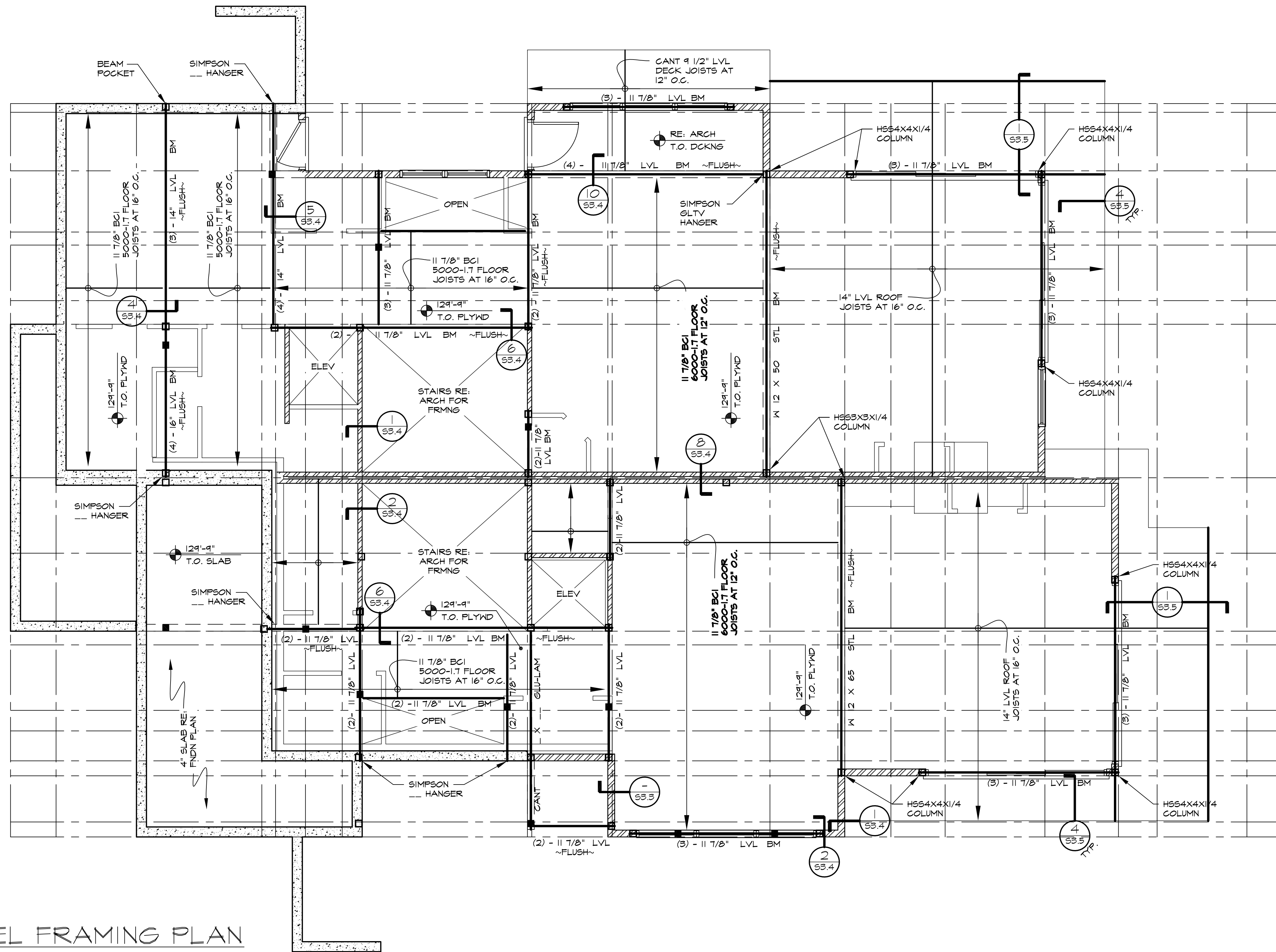
PROJECT: 1476  
STRT DT: 6/2019  
DRWN BY: FJP

SHEET

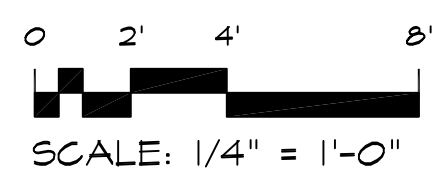
S2.2







THIRD LEVEL FRAMING PLAN



NOTES:

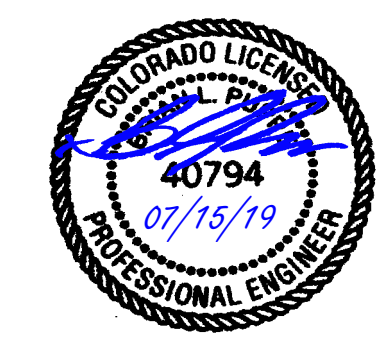
- INTERIOR FLOOR SYSTEM SHALL BE 3/4" T&G PLYWOOD SUBFLOOR, EXPOSURE 1, 24" APA RATED - STAGGER END JOINTS, GLUE AND FASTEN W/ 10d NAILS AT 6" O.C. ALONG ALL PANEL EDGES AND AT 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS - ON 11 7/8" BCI FLOOR JOISTS, RE: PLAN FOR SERIES AND SPACING, TYPICAL, U.N.O.
- "BCI" INDICATES: BUILT-UP "I"-SECTION FLOOR JOIST AS MANUFACTURED BY BOISE CASCADE CORPORATION. ALTERNATIVES SHALL HAVE THE SAME OR GREATER CAPACITIES AND SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD, PRIOR TO INSTALLATION.
- LOW ROOF SYSTEM SHALL BE 5/8" PLYWOOD, EXPOSURE 1, 40/20 APA RATED - STAGGER END JOINTS AND FASTEN W/ 8d NAILS AT 6" O.C. ALONG ALL PANEL EDGES AND AT 12" O.C. LONG ALL INTERMEDIATE SUPPORTS; SUPPORT HORIZONTAL JOINTS W/ PLY CLIPS OR WOOD BLOCKING - ON 14" LVL ROOF JOISTS, RE: PLAN FOR SPACING, TYPICAL, U.N.O.
- PROVIDE SIMPSON H HURRICANE CLIPS AT ALL ROOF TRUSSES AT BEARING WALL LOCATIONS (A35 CLIPS AT LOW SHED ROOF TO TIMBER BEAM).
- LOW ROOF LEDGER SHALL BE A (1)-2X12, ~FLUSH~ LEDGER W/ (3)-1/4" φ SIMPSON SDS OR OLY SCREWS AT 16" O.C. (INTO EACH STUD).
- CONTRACTOR TO PROVIDE ICE / WATER SHIELD AT LOW ROOF / WALL INTERFACE PER ARCH. REQUIREMENTS.
- HANG TIMBER/ LVL BEAMS FROM TIMBER/ LVL/ STL. BEAMS AND LEDGERS WITH SIMPSON HU(S)-TF OR HU-TF / HWJ TOP FLANGE BEAM HANGERS, TYPICAL, U.N.O.
- HANG ROOF JOISTS FROM ~ FLUSH ~ BEAMS AND LEDGERS WITH SIMPSON ITS TOP FLANGE HANGERS, TYPICAL, U.N.O.
- HANG FLOOR JOISTS FROM ~ FLUSH ~ BEAMS AND LEDGERS WITH SIMPSON ITS TOP FLANGE HANGERS, TYPICAL, U.N.O.
- HANG DECK JOISTS FROM ~ FLUSH ~ BEAMS AND LEDGERS WITH SIMPSON ITS TOP FLANGE HANGERS, TYPICAL, U.N.O.

NOTES (CONT.):

- ■ INDICATES COLUMN DOWN OR THRU FRAMING.
- ■ INDICATES COLUMN UP FROM FRAMING OR SUB COLUMN.
- ▨ INDICATES EXTERIOR WALL OR INTERIOR BEARING (OR SHEAR) WALL.
- □ INDICATES BEARING WALL UP ONLY; TERMINATING ON A BEAM AT THIS LEVEL.
- □ INDICATES INTERIOR NON-BEARING PARTITION WALL BELOW; LOCATE PER ARCH DWGS.
- ■ INDICATES CONCRETE FOUNDATION WALL OR PIER.
- ~ XXXX~XX~ INDICATES TOP OF BEAM ELEVATION.
- TOP OF BEAM ELEVATION, TYP. AT LOW ROOF = ~ RE: ARCH DWGS ~.
- "LVL" INDICATES: LAMINATED VENEER LUMBER BEAM AS MANUFACTURED BY BOISE CASCADE CORPORATION.
- EXTERIOR DECK FLOOR SYSTEM SHALL BE 9 1/2" LVL DECK JOISTS, RE: PLAN FOR SPACING, W/ 2X DECKING.
- EXTERIOR DECK LEDGER SHALL BE (2)-2X10, GLUED AND NAILED, ~ FLUSH ~ LEDGER W/ (2)-1/2" φ EXP. ANCHORS OR THRU- BOLTS AT 18" O.C. - STAGGERED - (1)-2X12 AGAINST CONCRETE IS REQUIRED TO BE TREATED, TYPICAL, U.N.O.
- VERIFY PLATE HEIGHT ELEVATIONS W/ ARCH DWGS.
- EXTERIOR HEADERS: (3)-2X8 W/ (1)-2X6 TRIMMER AND (1)-KING STUD TO A MAX SPAN OF 3'-6"; (3)-2X12 W/ (2)-2X6 TRIMMERS AND (1)-KING STUD TO A MAX SPAN OF 6'-0", TYPICAL, U.N.O. (ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" OR 3 1/2" WIDTH BY ADDING PLYWOOD SHIMS AS REQUIRED).

NOTES (CONT.):

- ALL WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO ROOF (INCLUDING RAKE WALLS). STUDS LONGER THAN 16'-0" SHALL BE REPLACED WITH 1 3/4" X 5 1/2" LVL STUDS.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X6 STUDS SPACED AT 16" O.C., TYPICAL, U.N.O. (RE: STRUCTURAL GENERAL NOTES) W/ 1/2" EXTERIOR PLYWOOD, EXPOSURE 1, 24/16 APA RATED - STAGGER END JOINTS, AND FASTEN W/ 8d NAILS AT 6" O.C. ALONG ALL PANEL EDGES AND AT 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS; SUPPORT HORIZONTAL JOINTS W/ WOOD BLOCKING.
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- MINIMUM SUPPORT AT 6X AND LARGER BEAMS SHALL BE (4)-2X6 COLUMN, TYPICAL, U.N.O.
- STAIR HEADROOM CLEARANCE, FROM TOE OF TREAD; SHALL BE NO LESS THAN 6'-8", PER CODE REQUIREMENTS.
- RE: CONTRACTOR FOR HANDRAIL AND STAIR FRAMING.
- THE ENGINEER HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK.



**bpse**  
**STRUCTURAL DESIGNS**  
 PO BOX 8007  
 AVON, CO 81620  
 PH: 970-331-6740  
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**PRIVATE RESIDENCE**  
 4822 MEADOW LANE  
 BIGHORN SUBDIVISION, LOT 9, BLOCK 7  
 VAIL, CO

<b>THIRD LVL PLAN</b>		ISSUED FOR PERMIT REVIEW		ISSUE/REVISION
A	7/15/19			
PROJECT:	1476			
STRT DT:	6/20/19			
DRWN BY:	FJP			
SHEET		NO DATE		
<b>52.3</b>				











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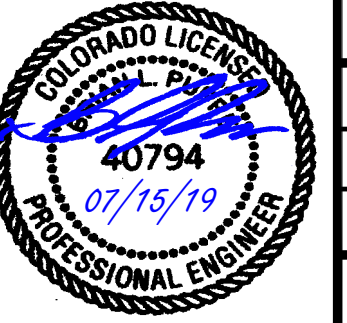
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VAIL, CO

~~NOT USED~~

1  
53.1 SCALE = N.T.S.



**FNDN DETAILS**

NO	DATE	ISSUE/REVISION
A	7/8/19	ISSUED FOR PERMIT REVIEW

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STRT DT: 6/20/19  
DRAWN BY: PJP

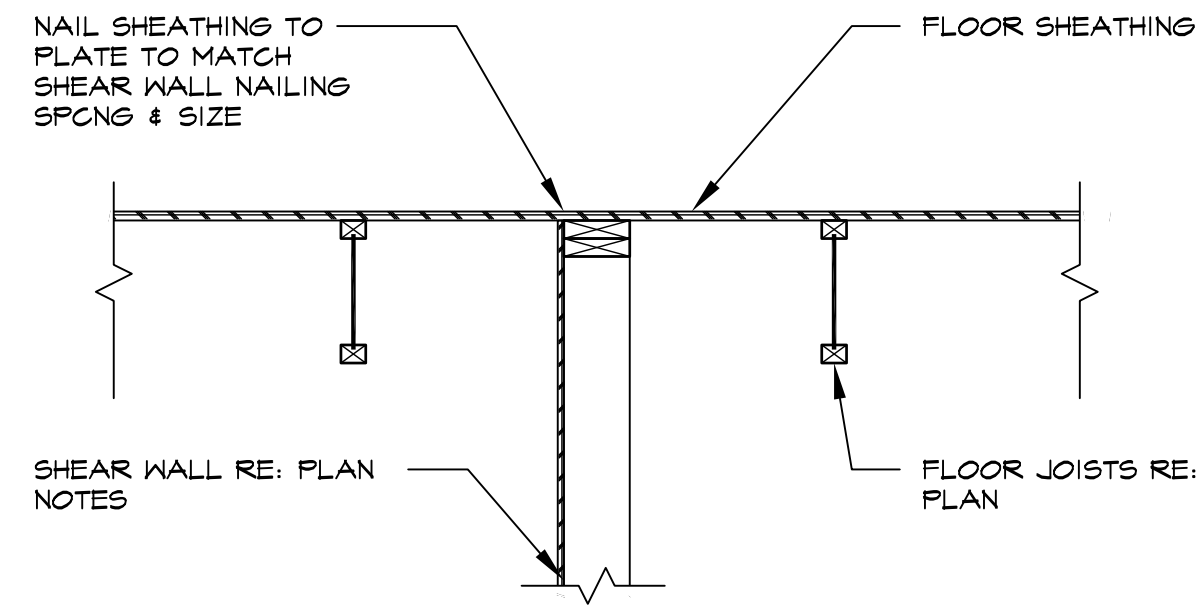
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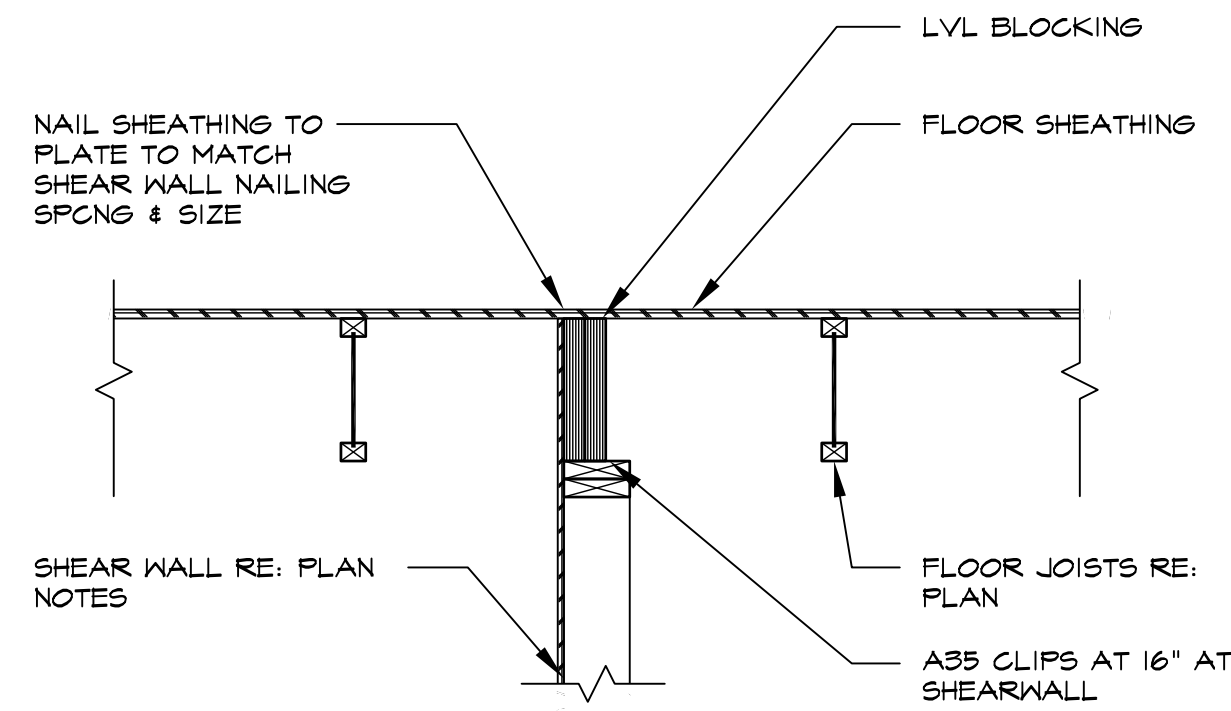




NOTE:  
WALL ABOVE NOT SHOWN  
FOR CLARITY, TYP.



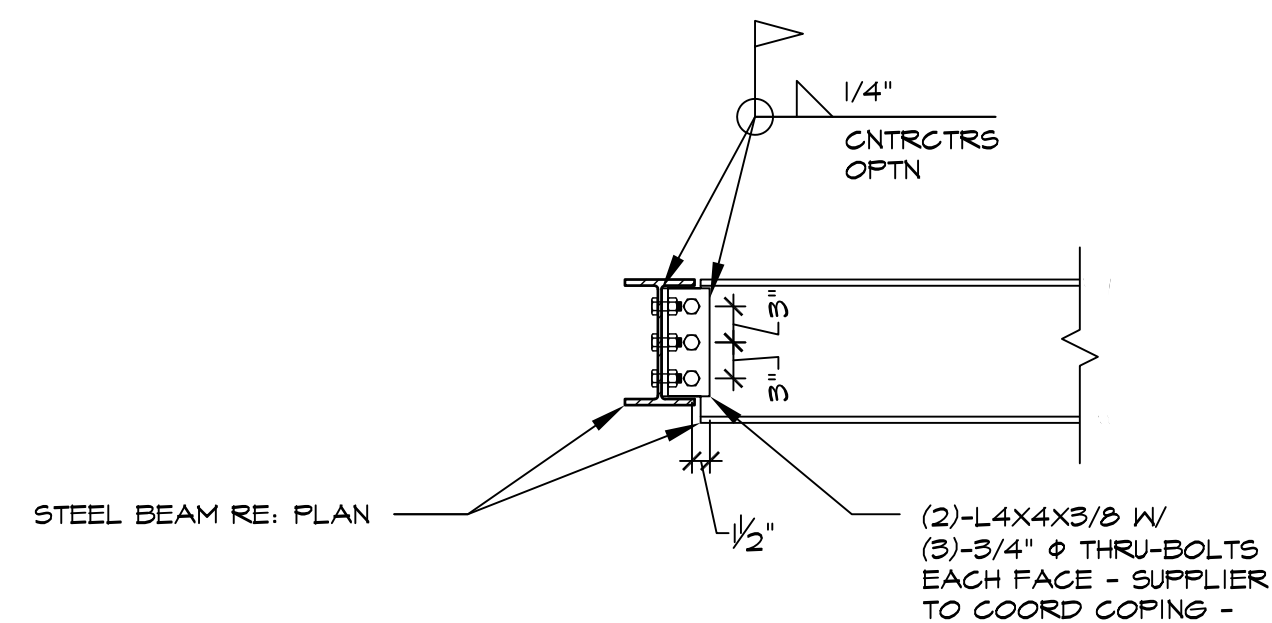
9 TYP. SHEAR WALL  
S3.3 3/4" = 1'-0"



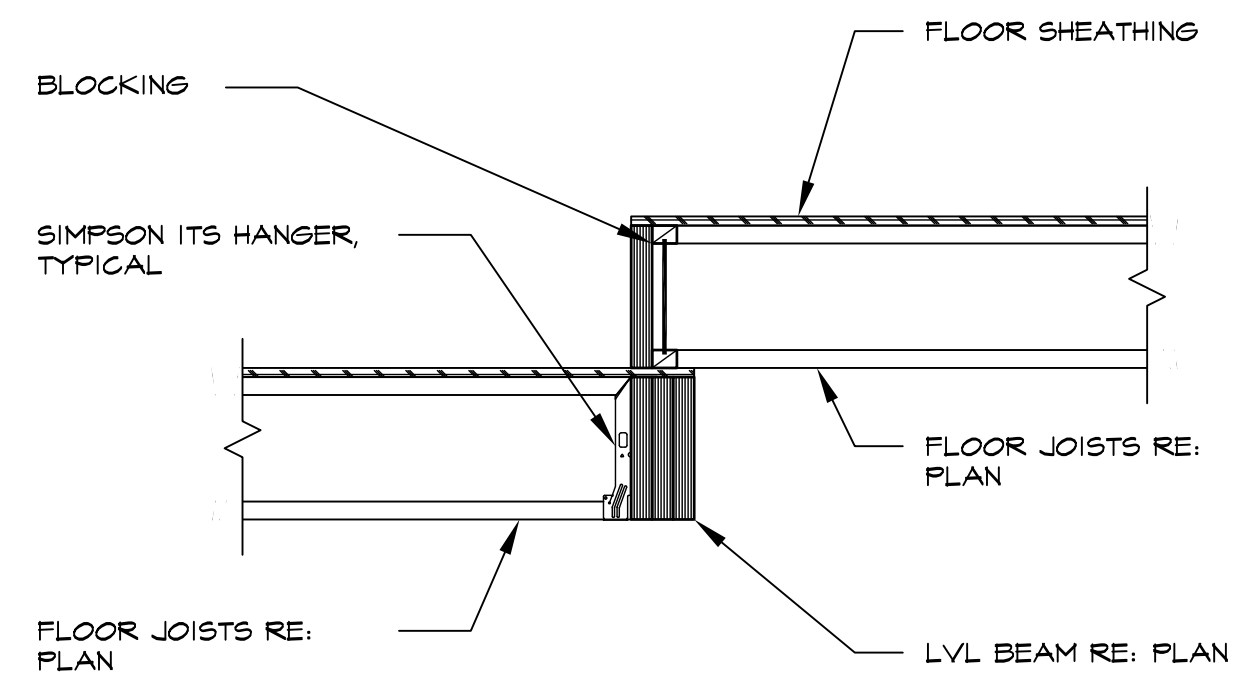
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S3.3 -ALTERNATE- 3/4" = 1'-0"

~~NOT USED~~

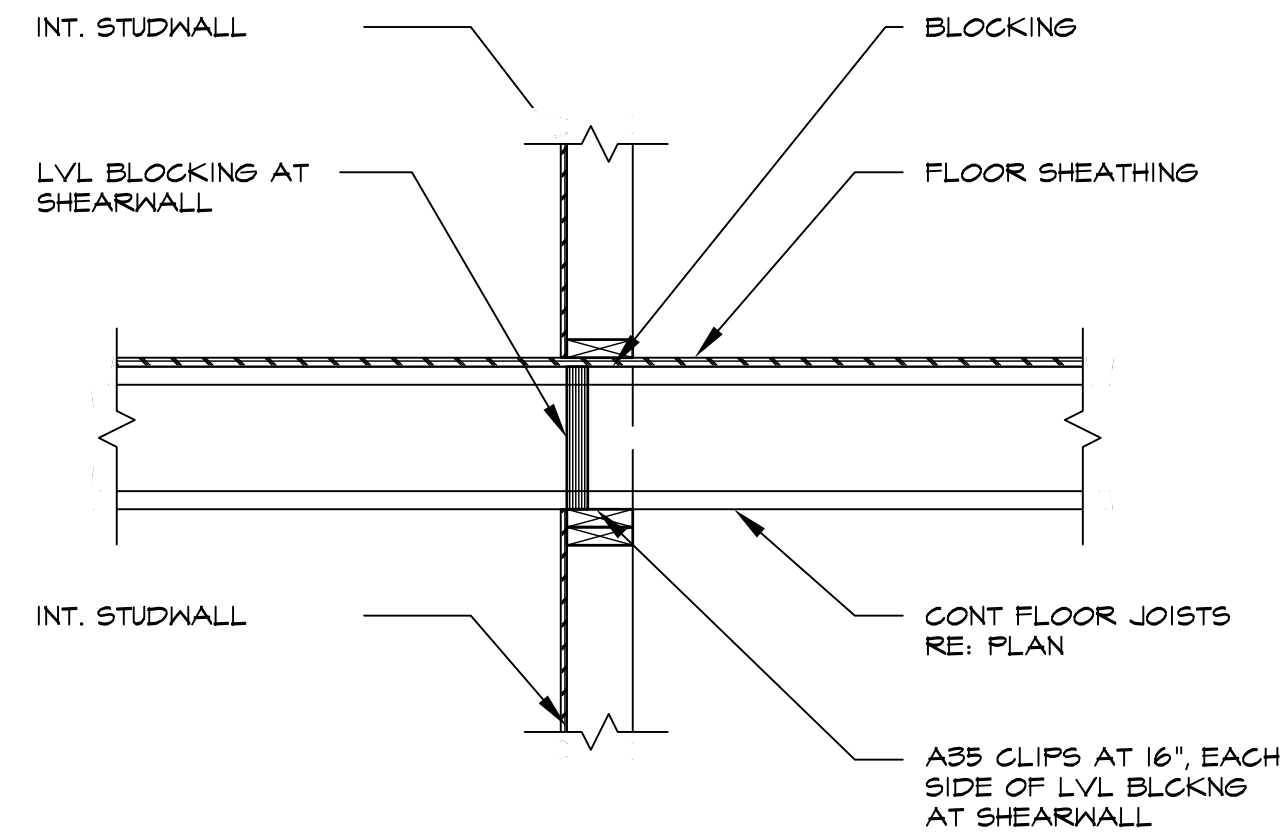
11  
S3.3 SCALE = N.T.S.



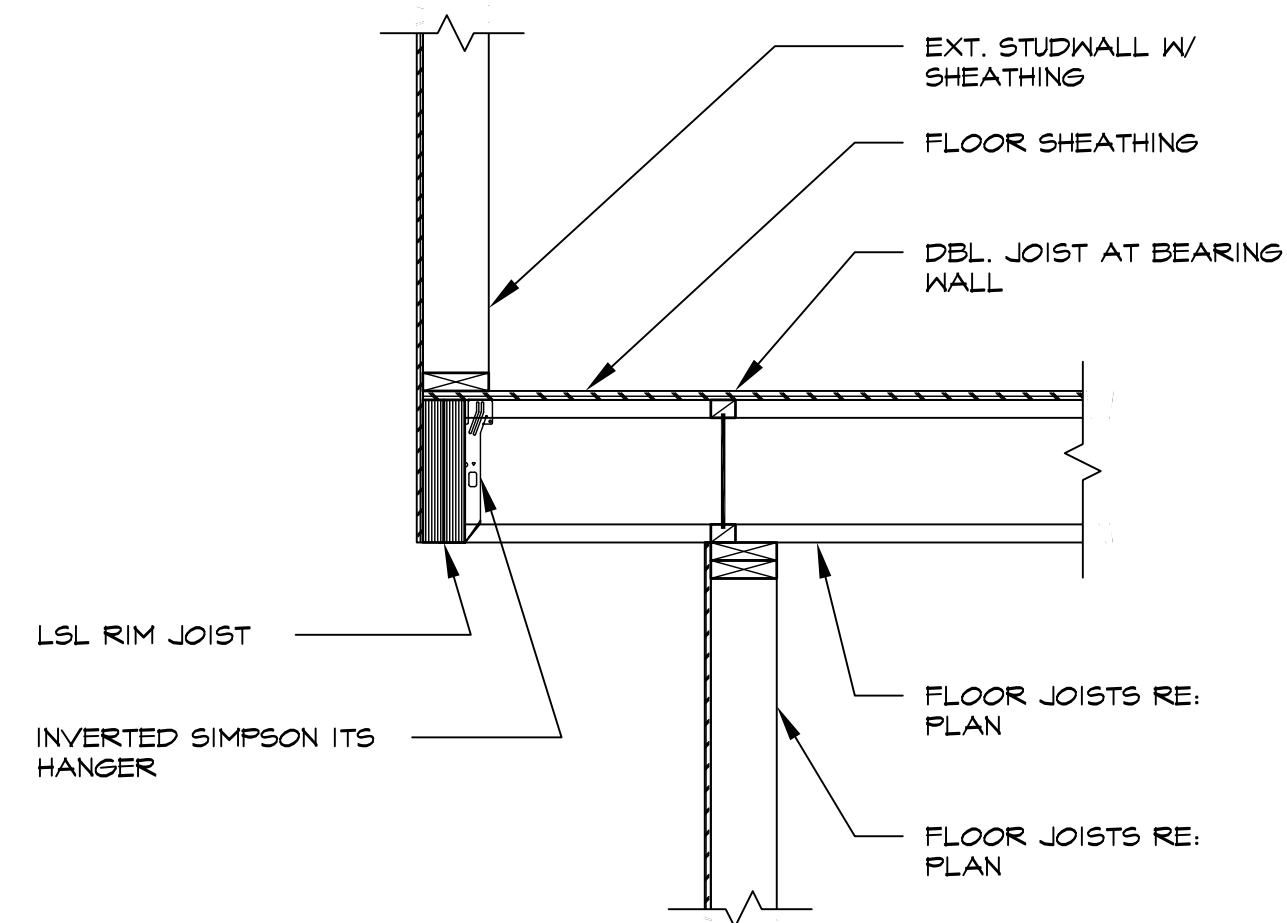
12 TYP. W10X / W12X STEEL  
S3.3 BM CNCTN SCALE = N.T.S.



5 TYP. LVL FLOOR STEP  
S3.3 SCALE = N.T.S.



6 TYP. BEARING WALL  
S3.3 SCALE = N.T.S.



7 CANT FLOOR  
S3.3 SCALE = N.T.S.

~~NOT USED~~

8  
S3.3 SCALE = N.T.S.

~~NOT USED~~

3  
S3.3 SCALE = N.T.S.

~~NOT USED~~

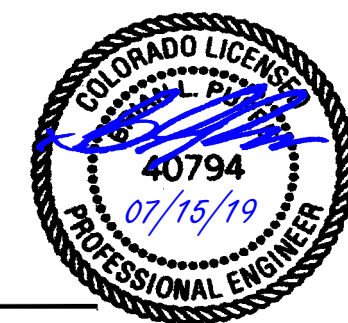
1  
S3.3 SCALE = N.T.S.

~~NOT USED~~

4  
S3.3 SCALE = N.T.S.

~~NOT USED~~

2  
S3.3 SCALE = N.T.S.



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AVON, CO 81620  
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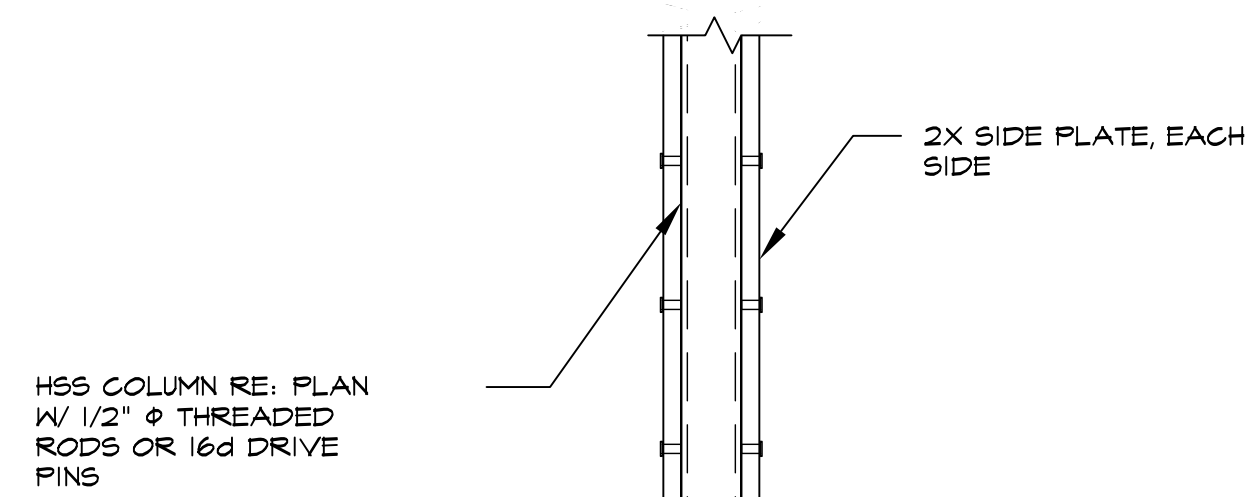
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BIGHORN SUBDIVISION, LOT 9, BLOCK 7  
VAIL, CO

FRMNG DETAILS		ISSUED FOR PERMIT REVIEW	DATE	ISSUE/REVISION
A	1/28/19			

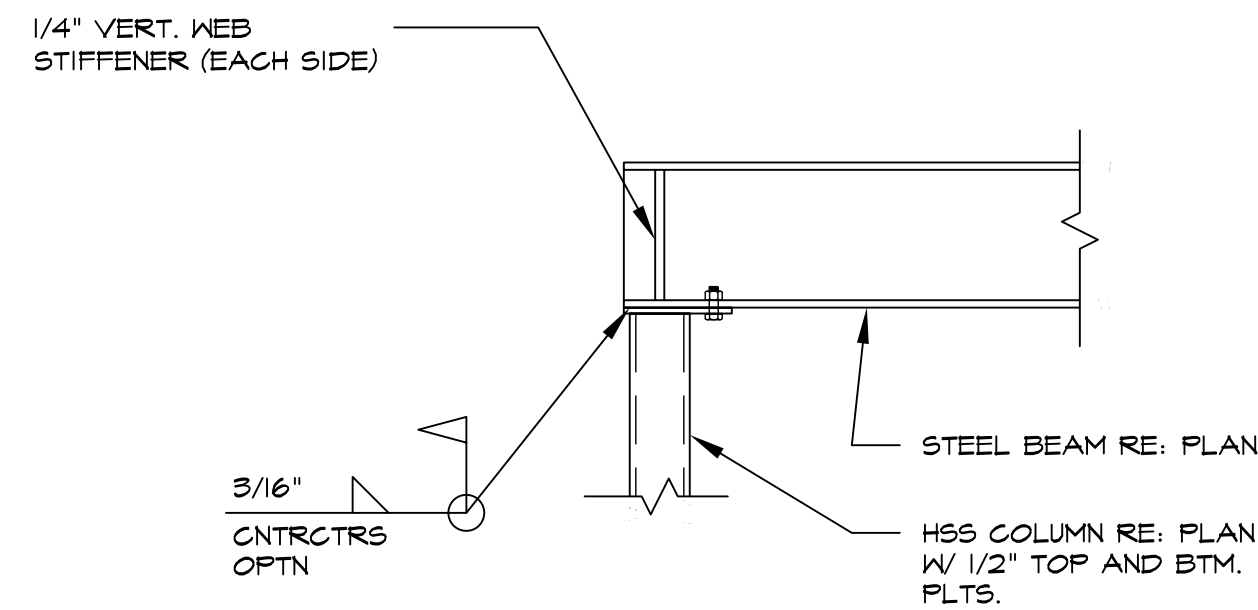
PROJECT:	1476
STRT DT:	6/2019
DRWN BY:	FJP

SHEET  
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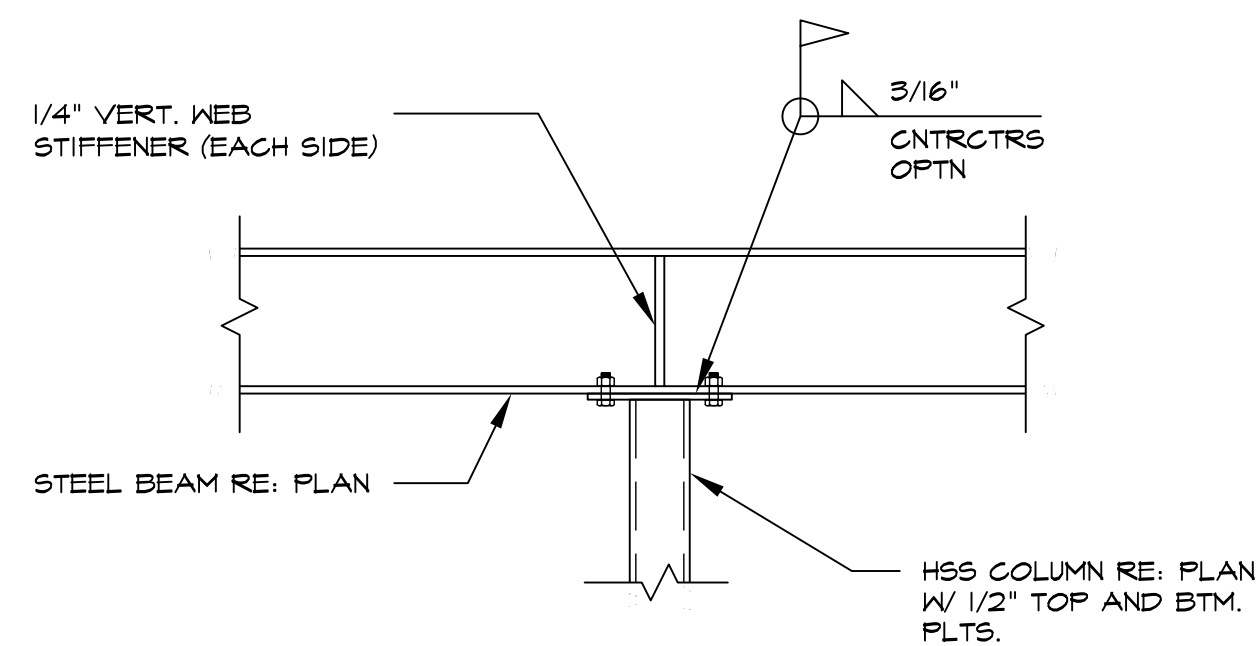




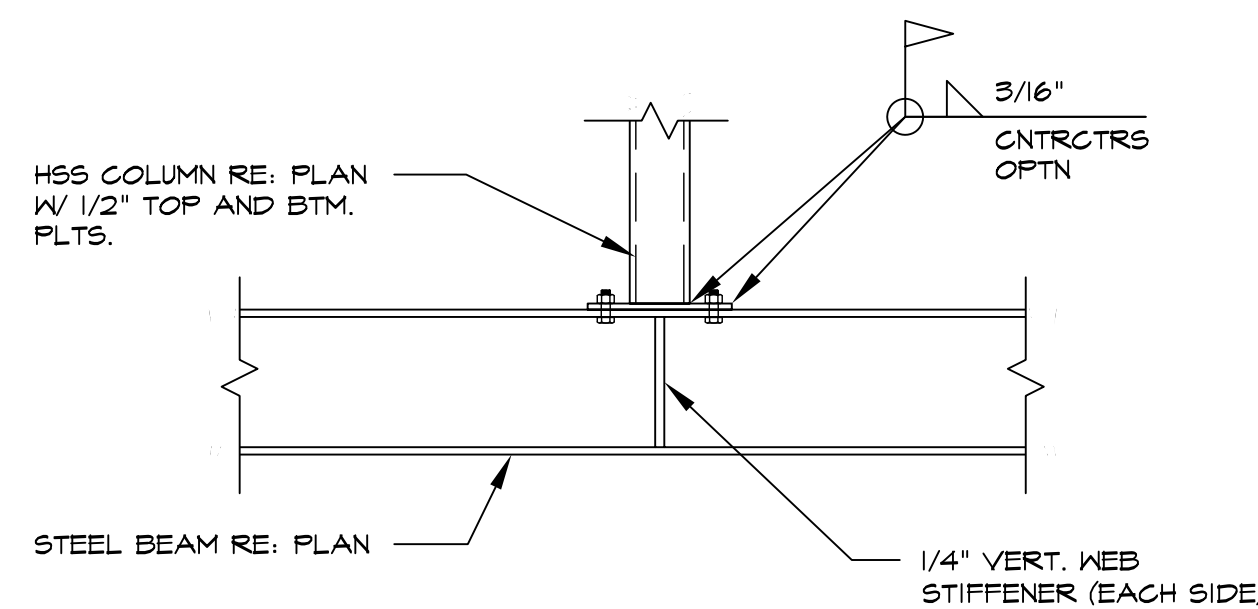
13 TYP. AT HSS/ WALL  
S3.4 INTERFACE SCALE = N.T.S.



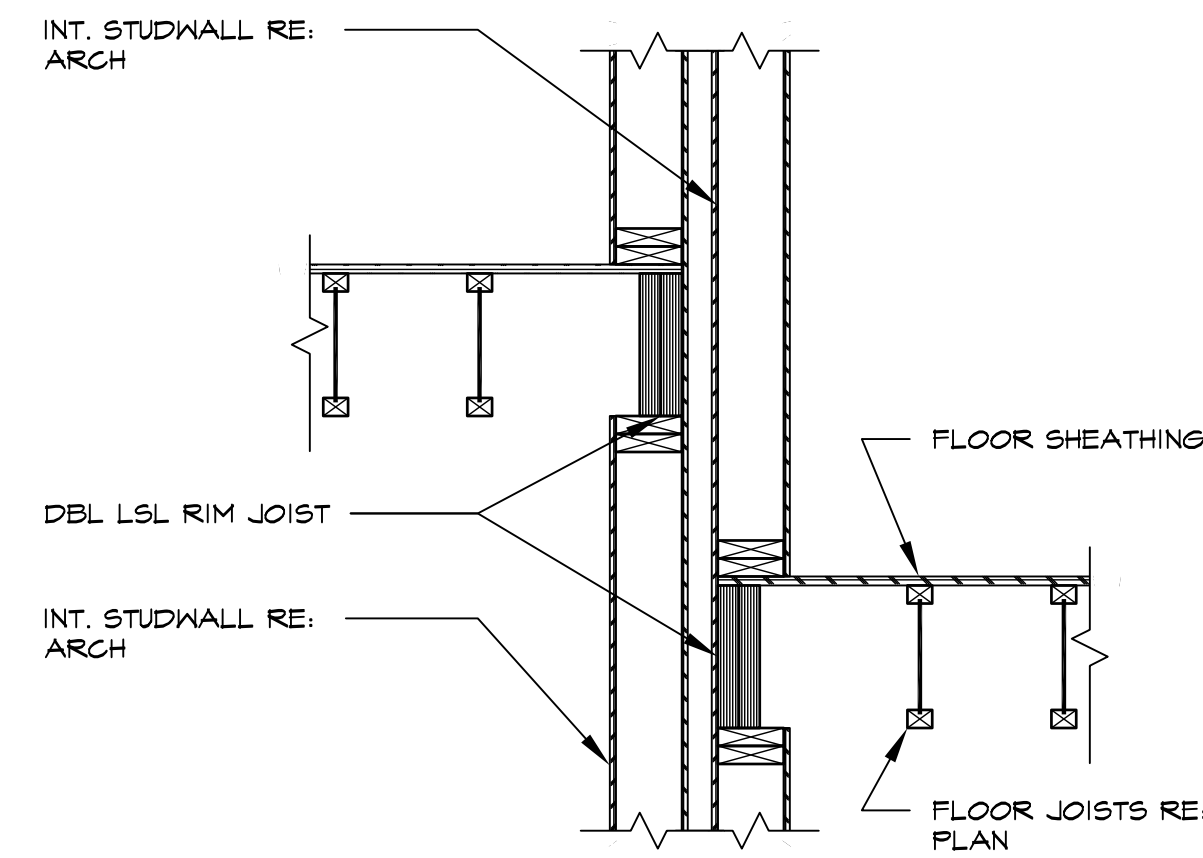
14 TYP. STL END SUPPORT  
S3.4 SCALE = N.T.S.



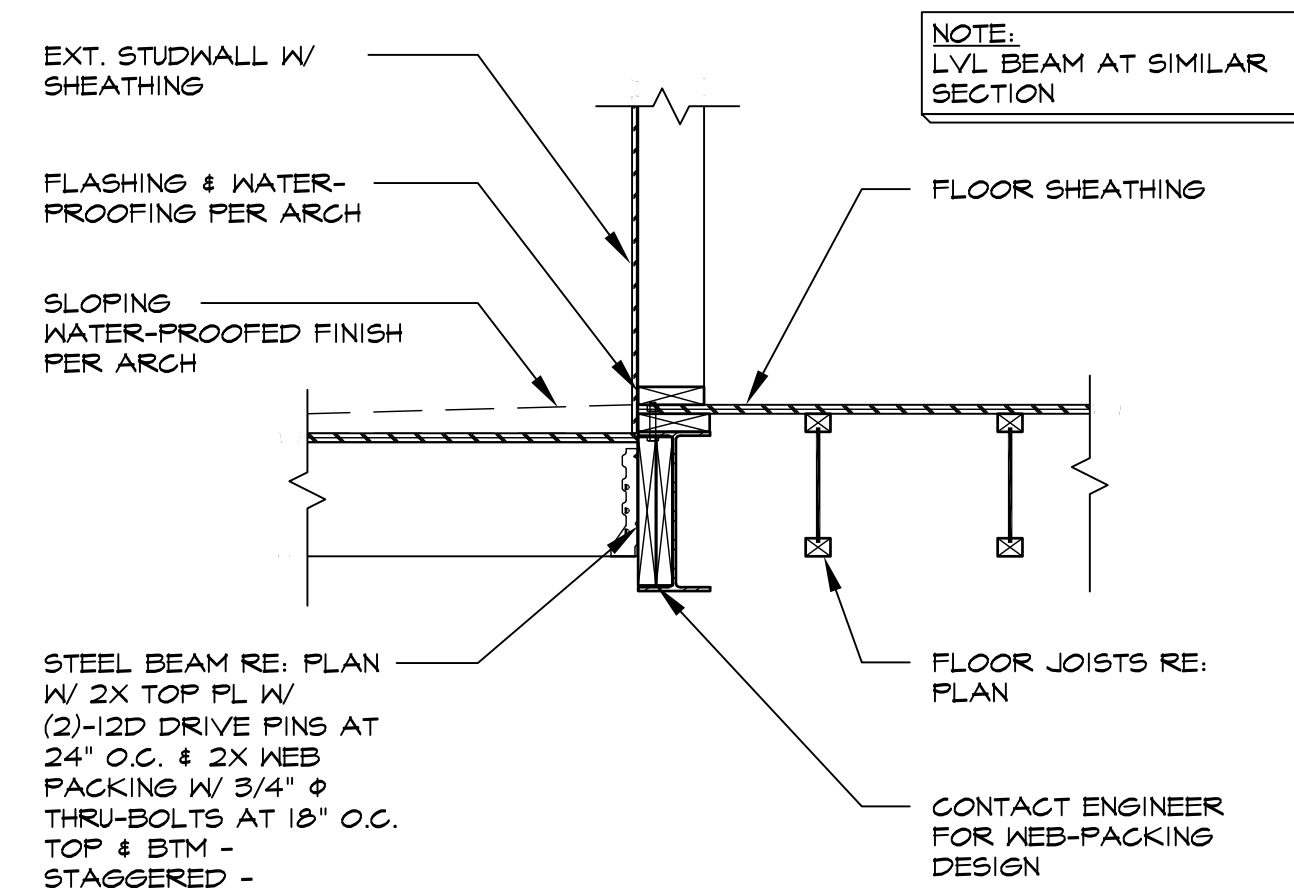
15 TYP. CONT BEAM AT  
S3.4 COLUMN SCALE = N.T.S.



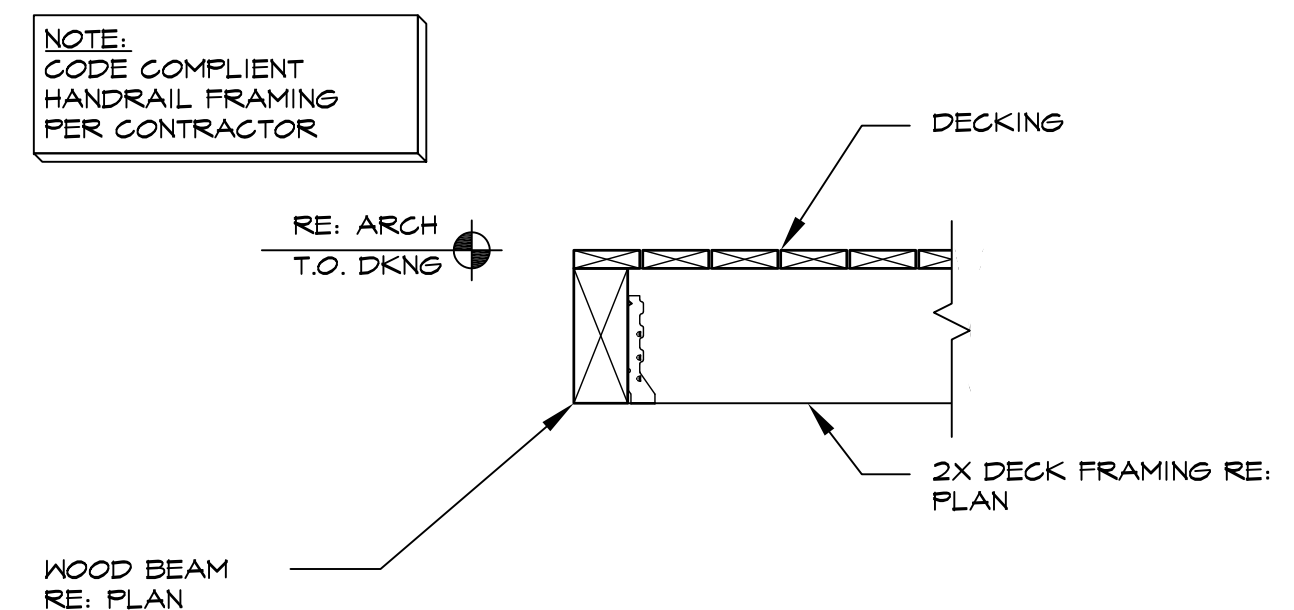
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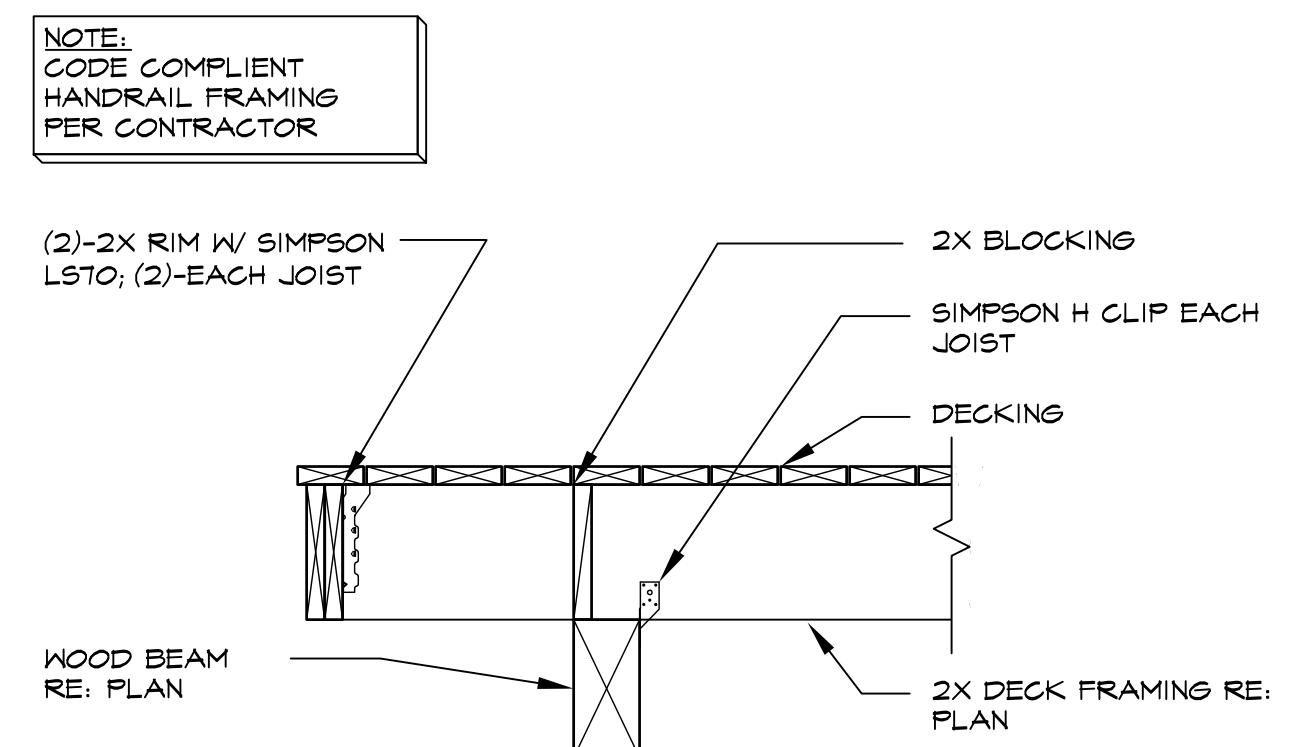
9 TYP. PARTY WALL AT  
S3.4 STEP SCALE = N.T.S.



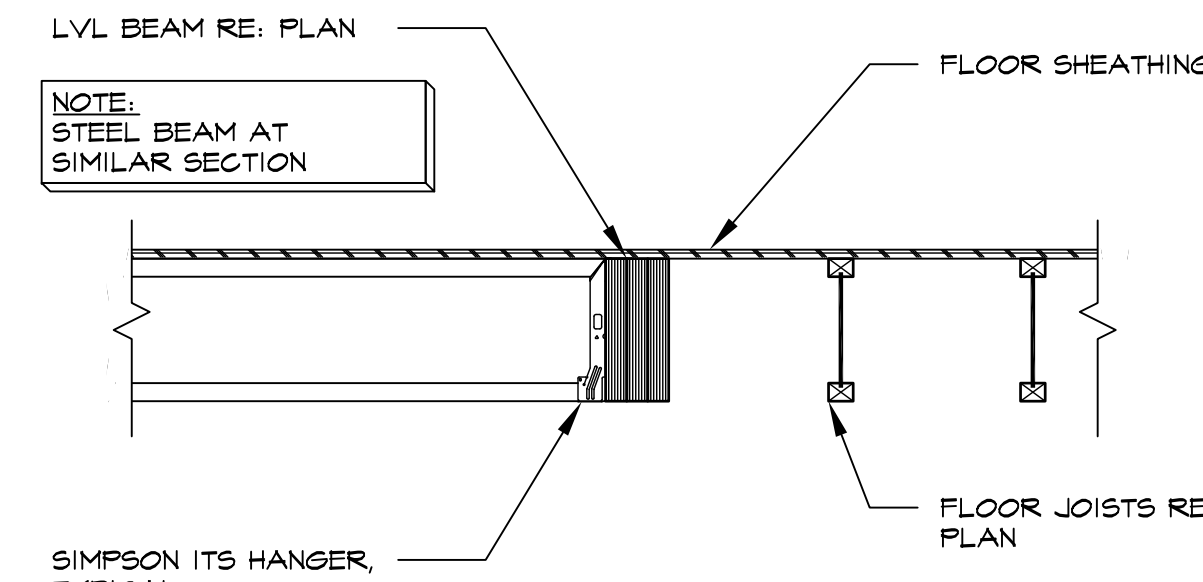
10 TYP. EXT DECK  
S3.4 SCALE = N.T.S.



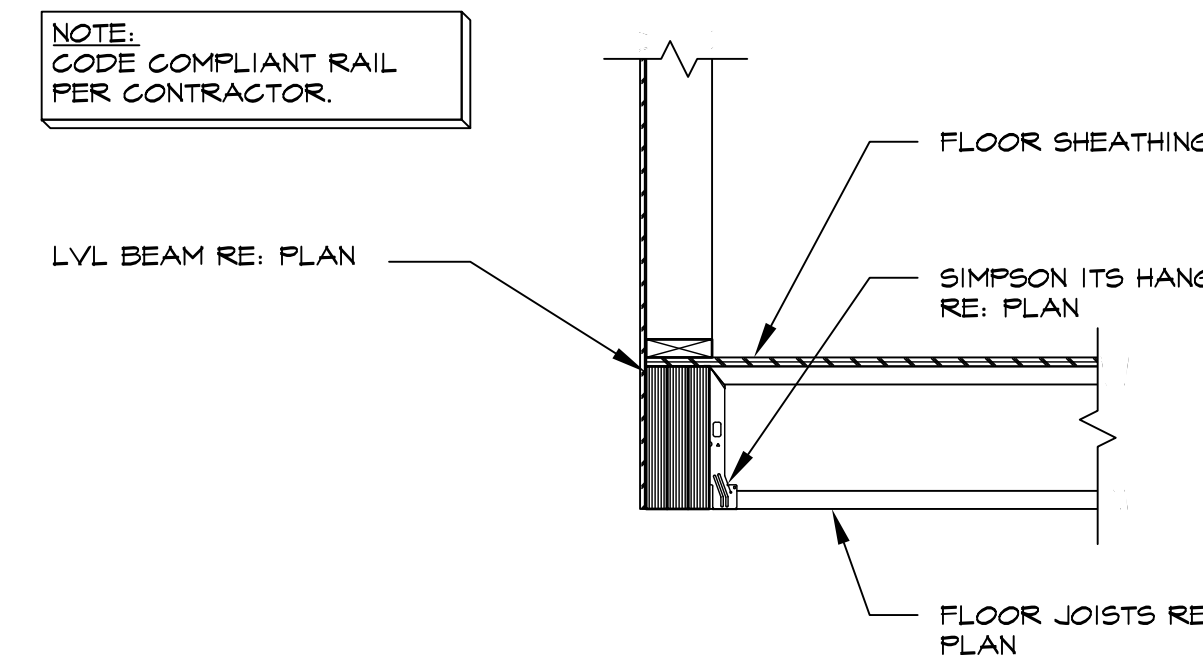
11 TYP. DECK EDGE  
S3.4 SCALE = N.T.S.



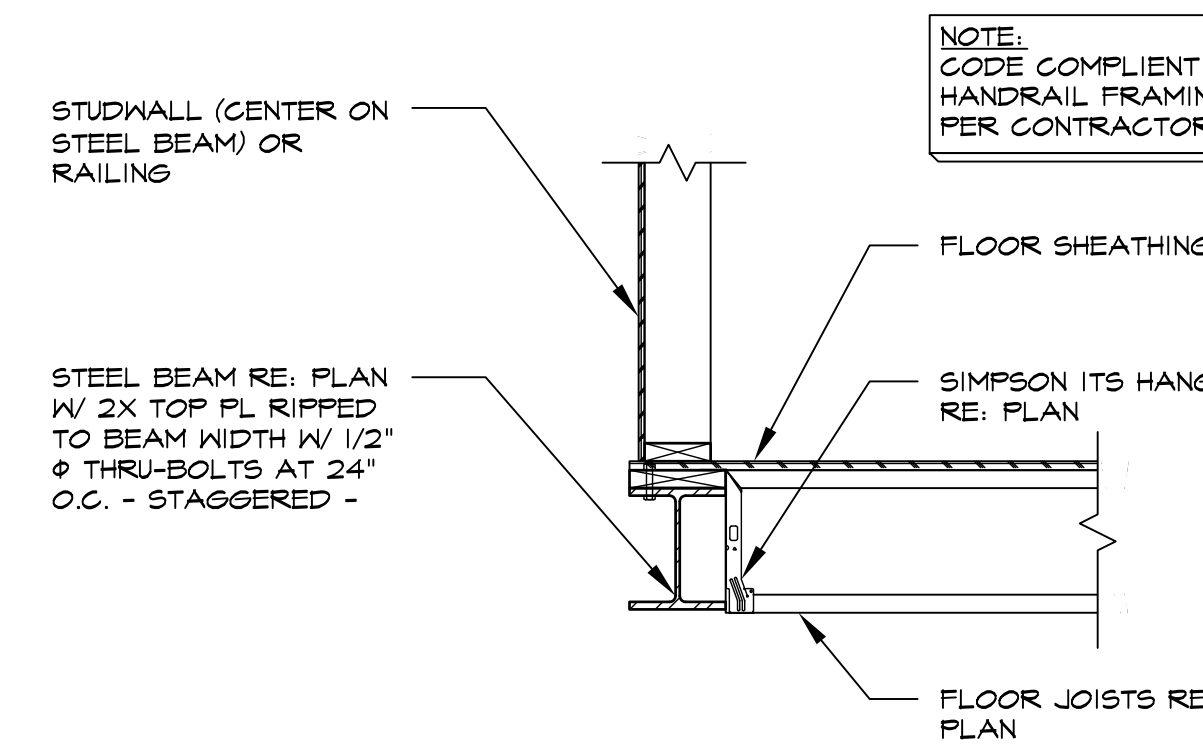
12 TYP. DECK EDGE  
S3.4 SCALE = N.T.S.



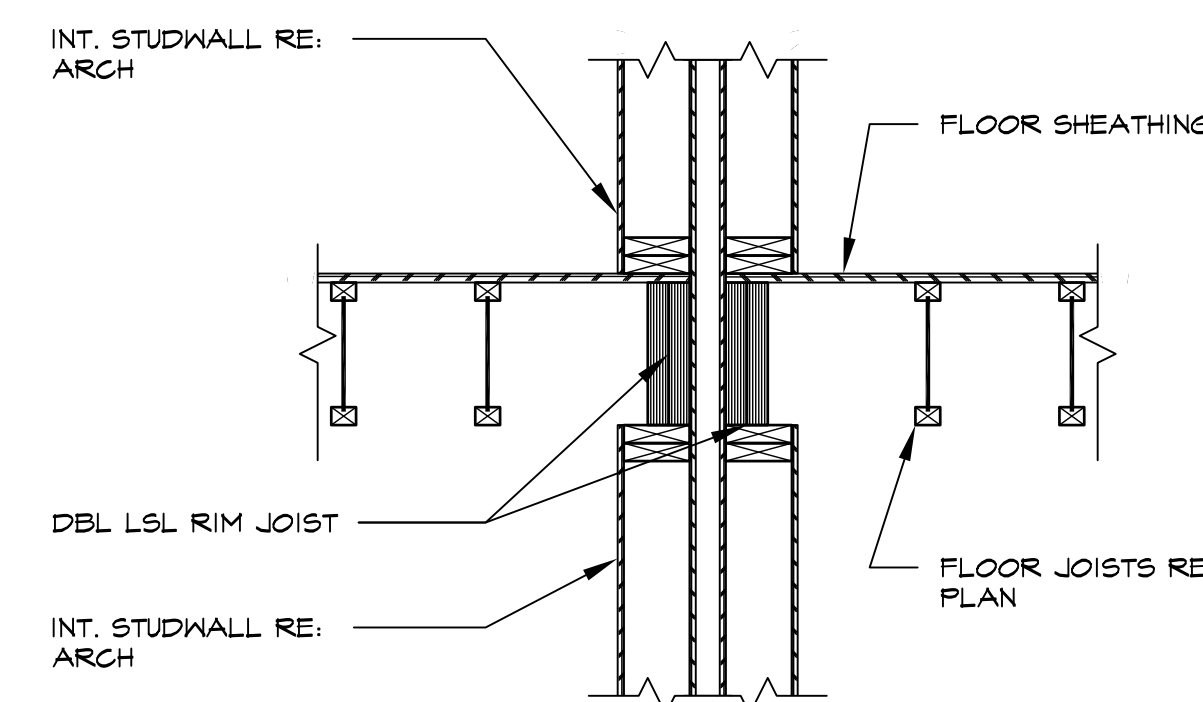
5 FLR. FRMG INTERFACE  
S3.4 SCALE = N.T.S.



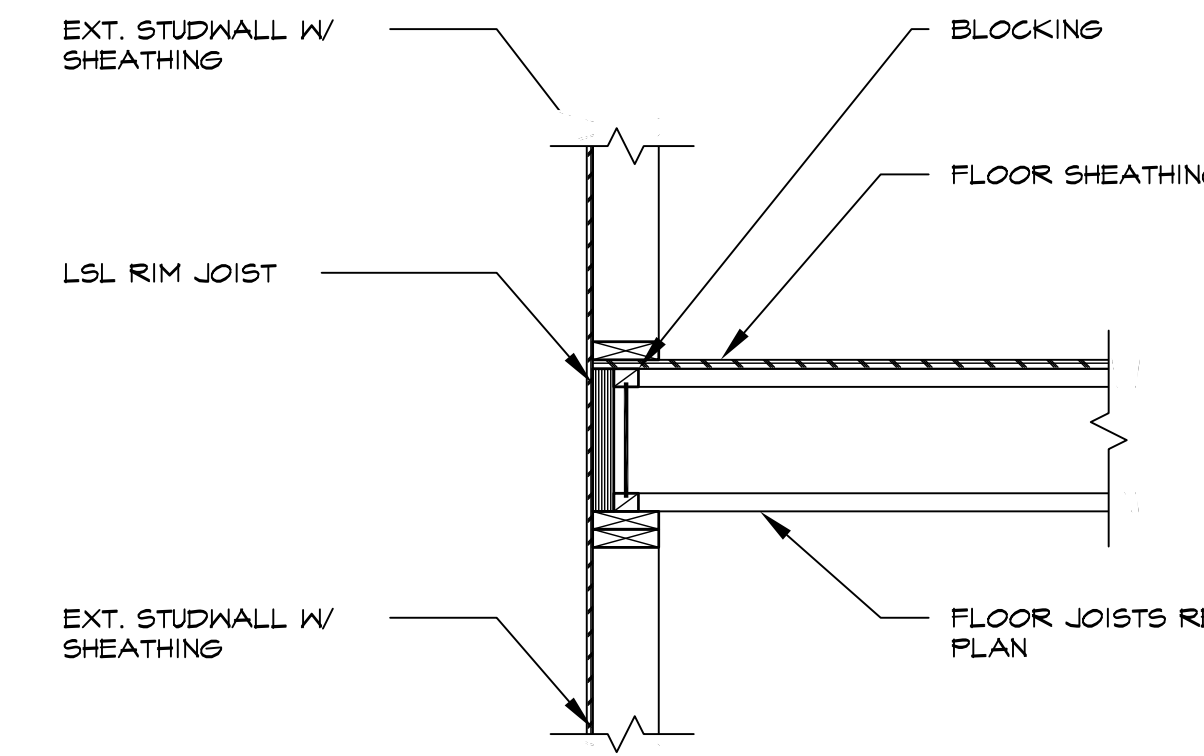
6 TYP. LVL EDGE BEAM  
S3.4 SCALE = N.T.S.



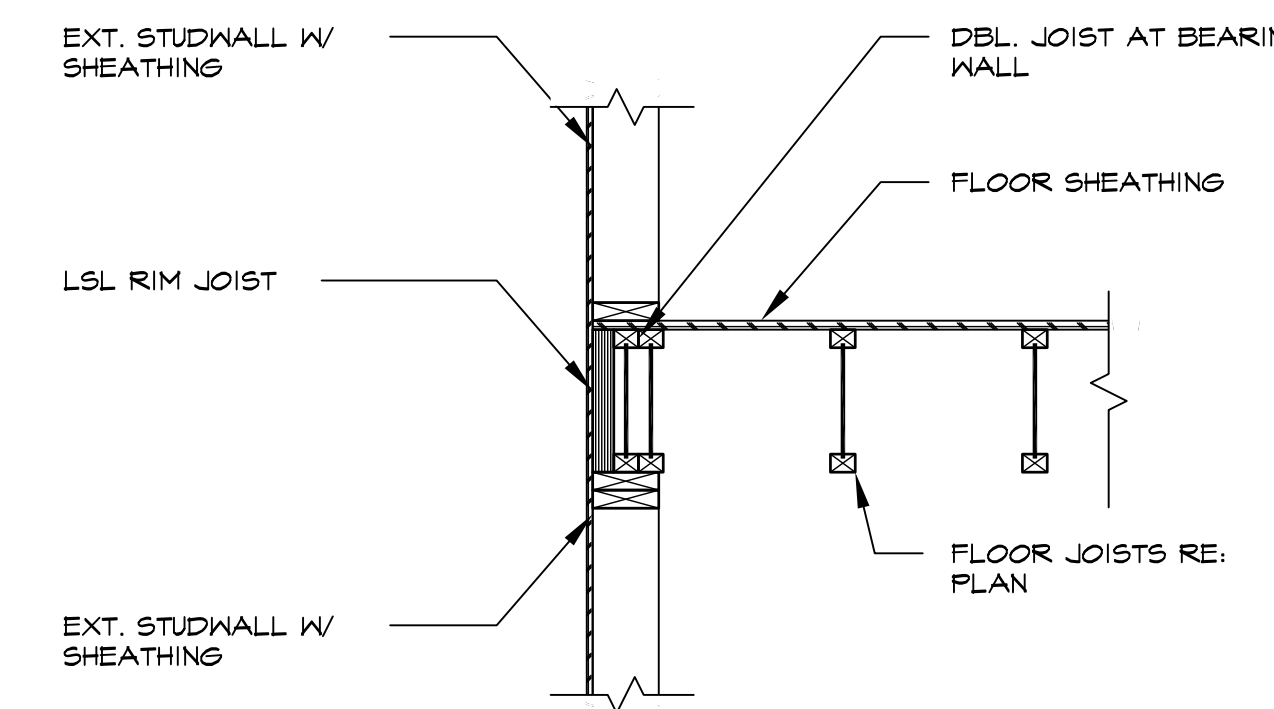
7 TYP. STL EDGE BEAM  
S3.4 SCALE = N.T.S.



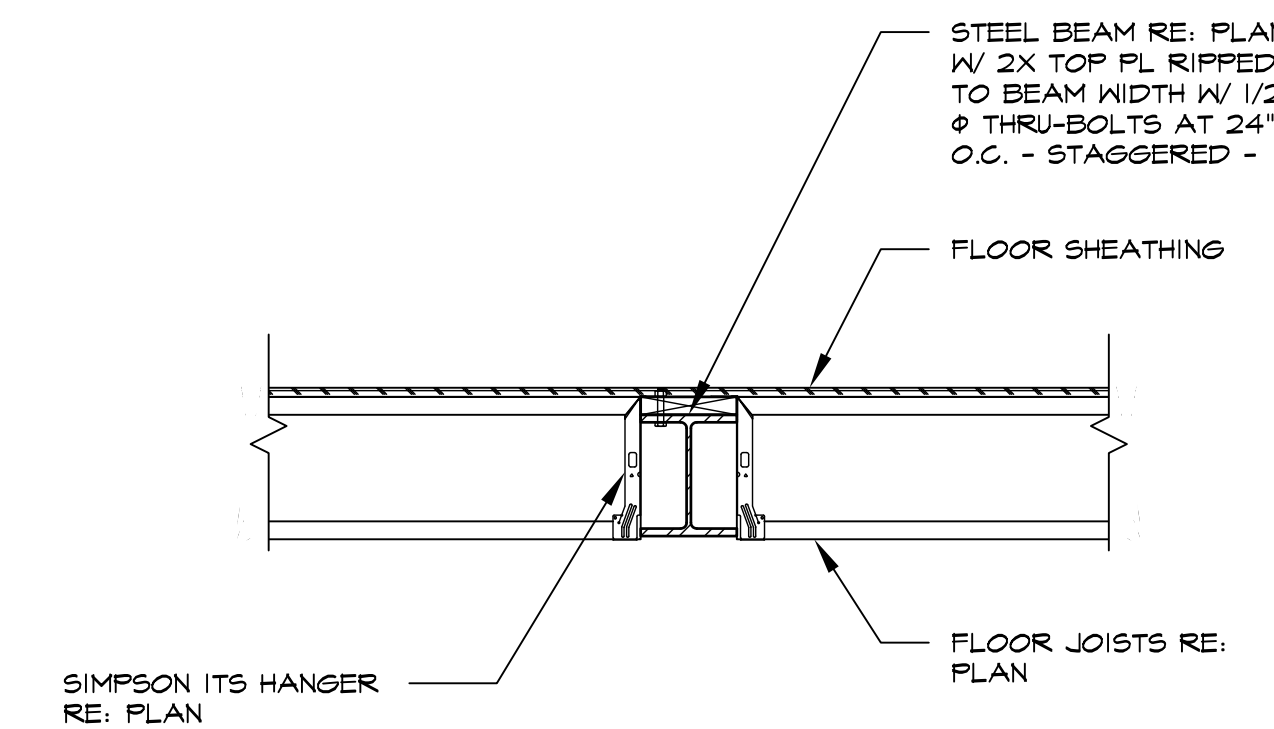
8 TYP. PARTY WALL  
S3.4 SCALE = N.T.S.



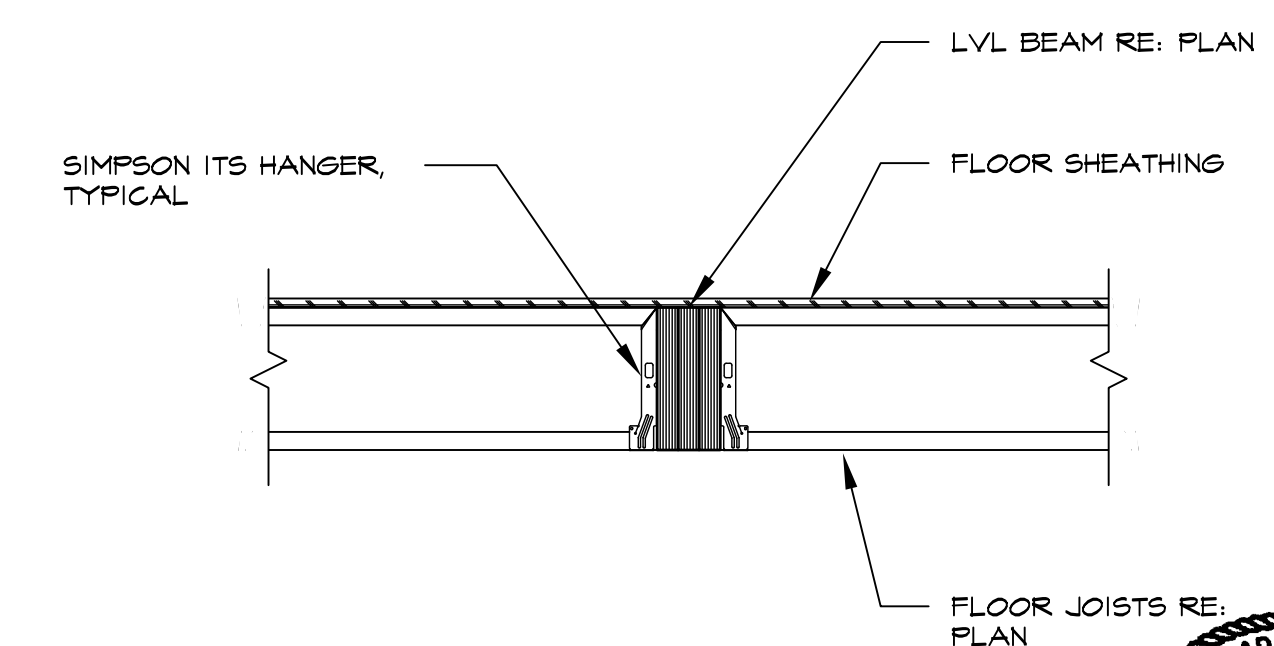
1 TYP. EXT. WALL  
S3.4 SCALE = N.T.S.



2 TYP. EXT. WALL  
S3.4 SCALE = N.T.S.



3 TYP. STEEL FLOOR BEAM  
S3.4 SCALE = N.T.S.



4 TYP. LVL FLOOR BEAM  
S3.4 SCALE = N.T.S.

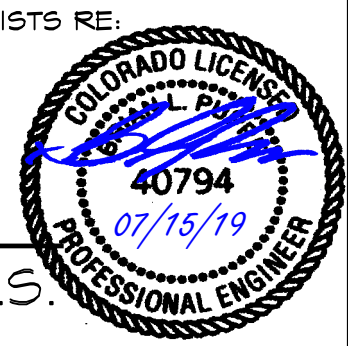
**bpse**  
STRUCTURAL DESIGNS  
PO BOX 8007  
AVON, CO 81620  
PH: 970-331-6740  
FAX: 1-888-562-4685  
INFO@BPSE.NET  
WWW.BPSE.NET

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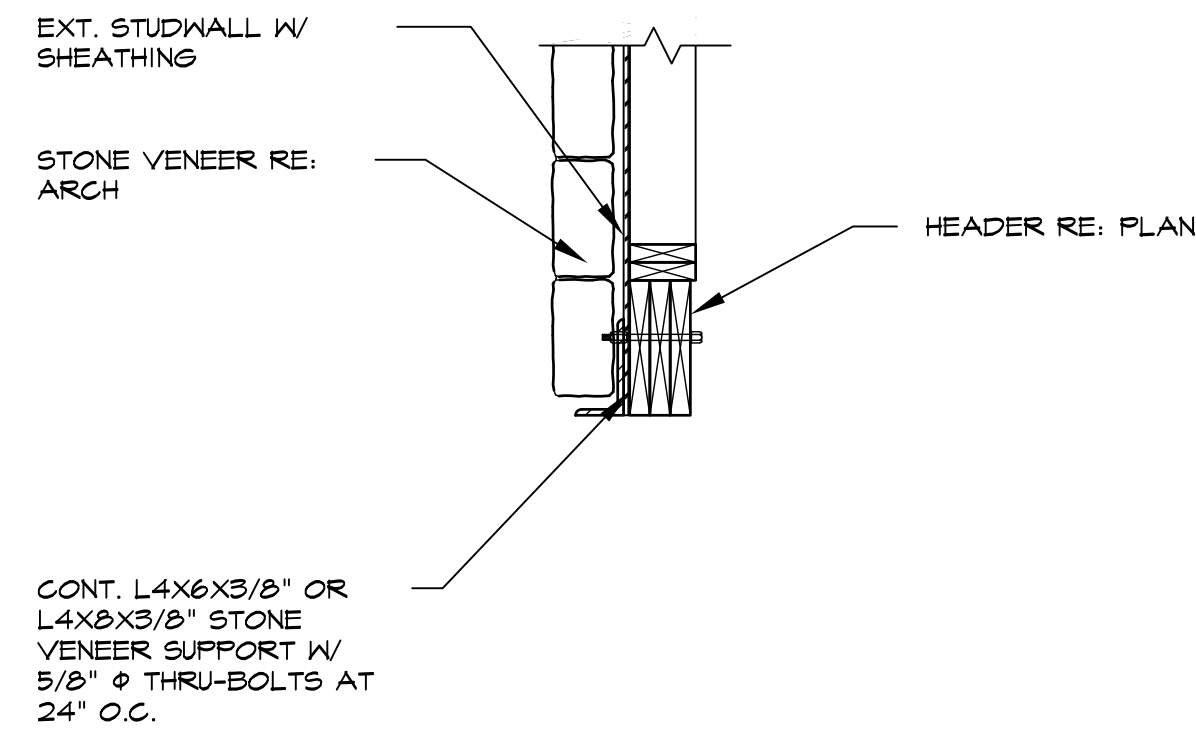
**PRIVATE RESIDENCE**  
4822 MEADOW LANE  
BIGHORN SUBDIVISION, LOT 9, BLOCK 7  
VAIL, CO

FRMG DETAILS		ISSUED FOR PERMIT REVIEW	DATE	ISSUE/REVISION
A	1/28/19			

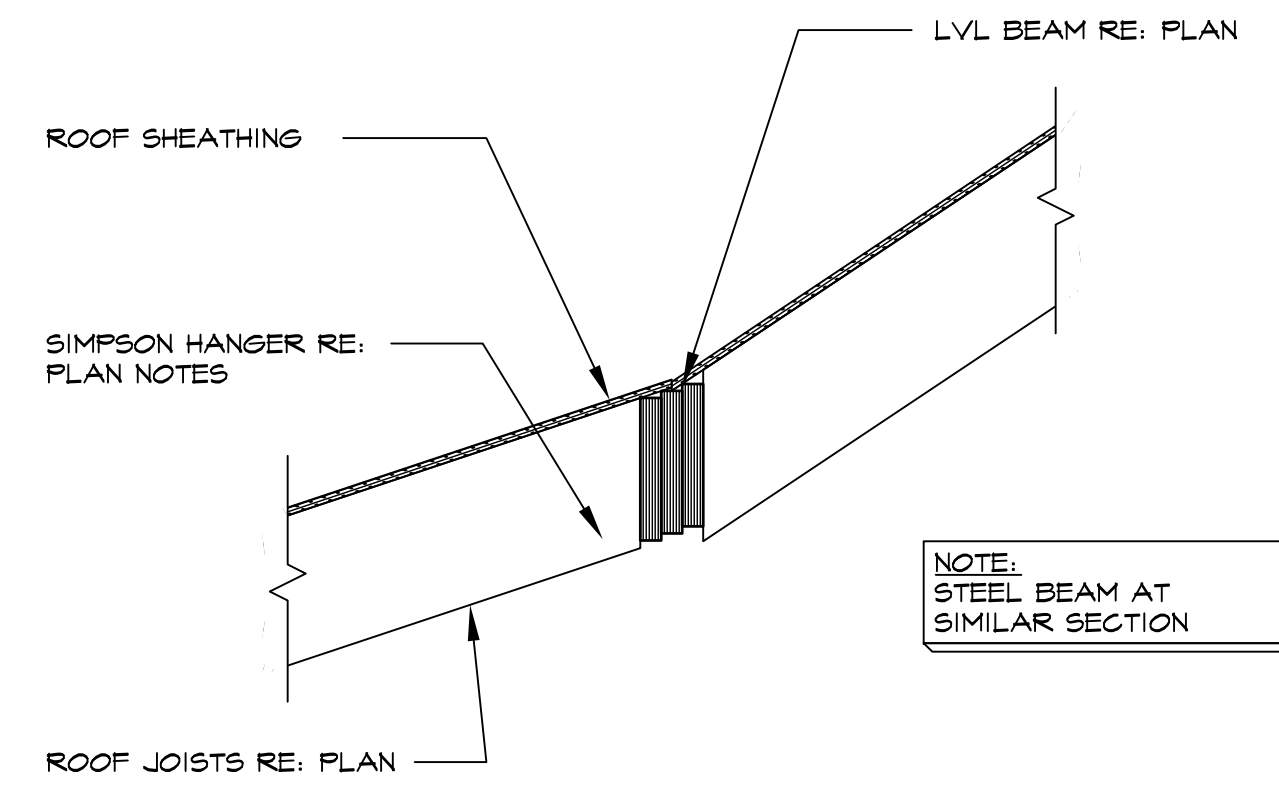
PROJECT:	1476
STRT DT:	6/2019
DRWN BY:	FJP
SHEET	S3.4



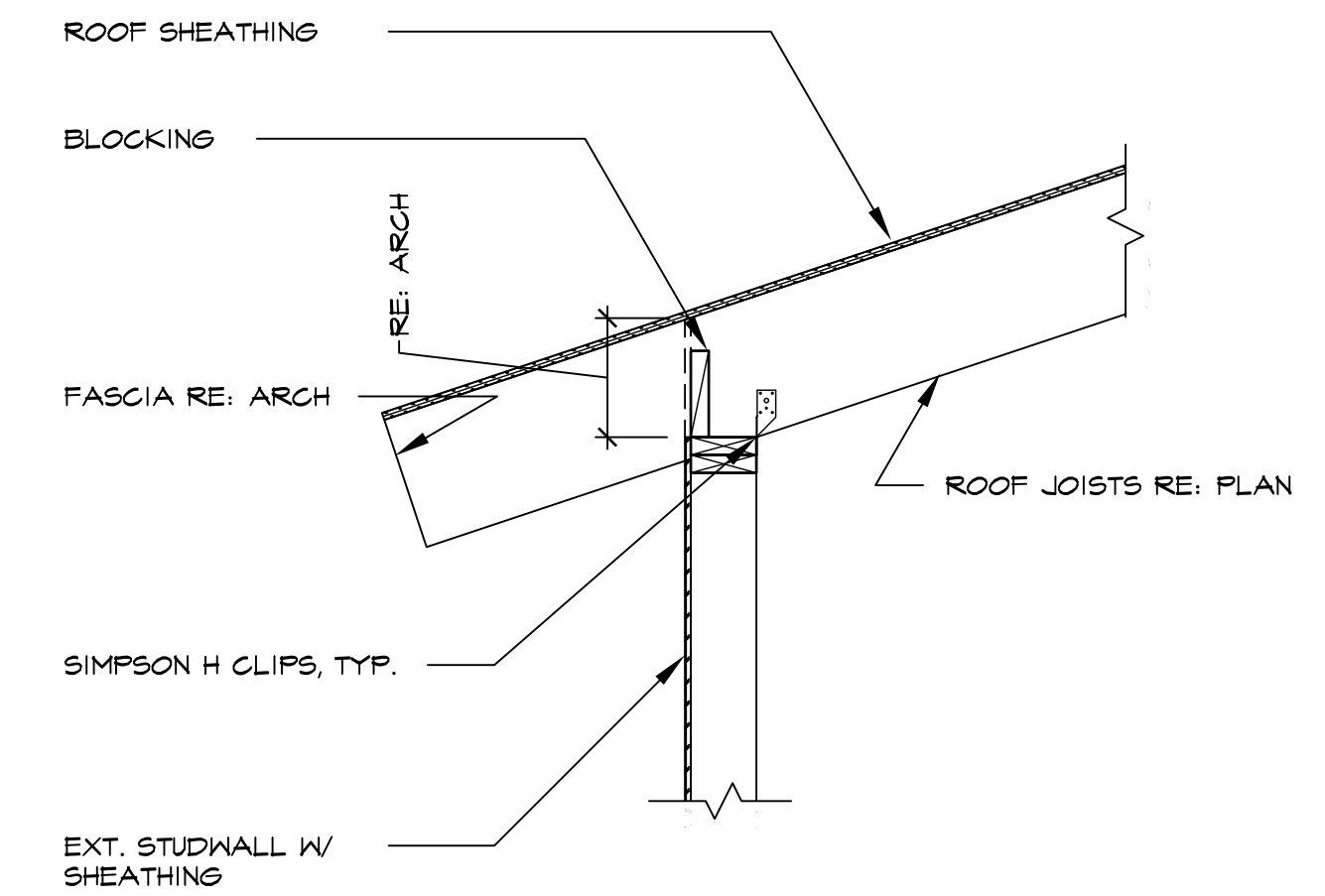




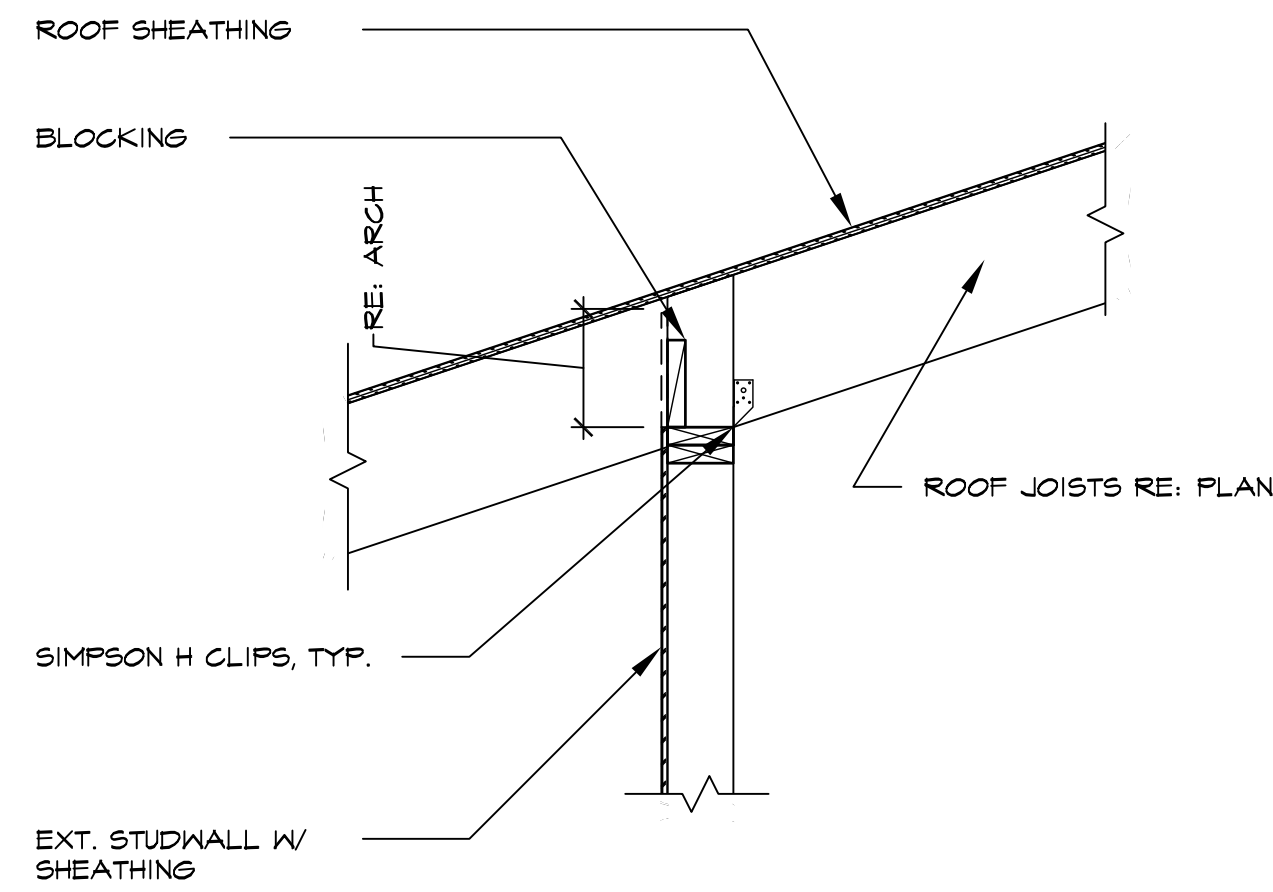
9 TYP. STONE VENEER AT  
S3.5 HEADER SCALE = N.T.S.



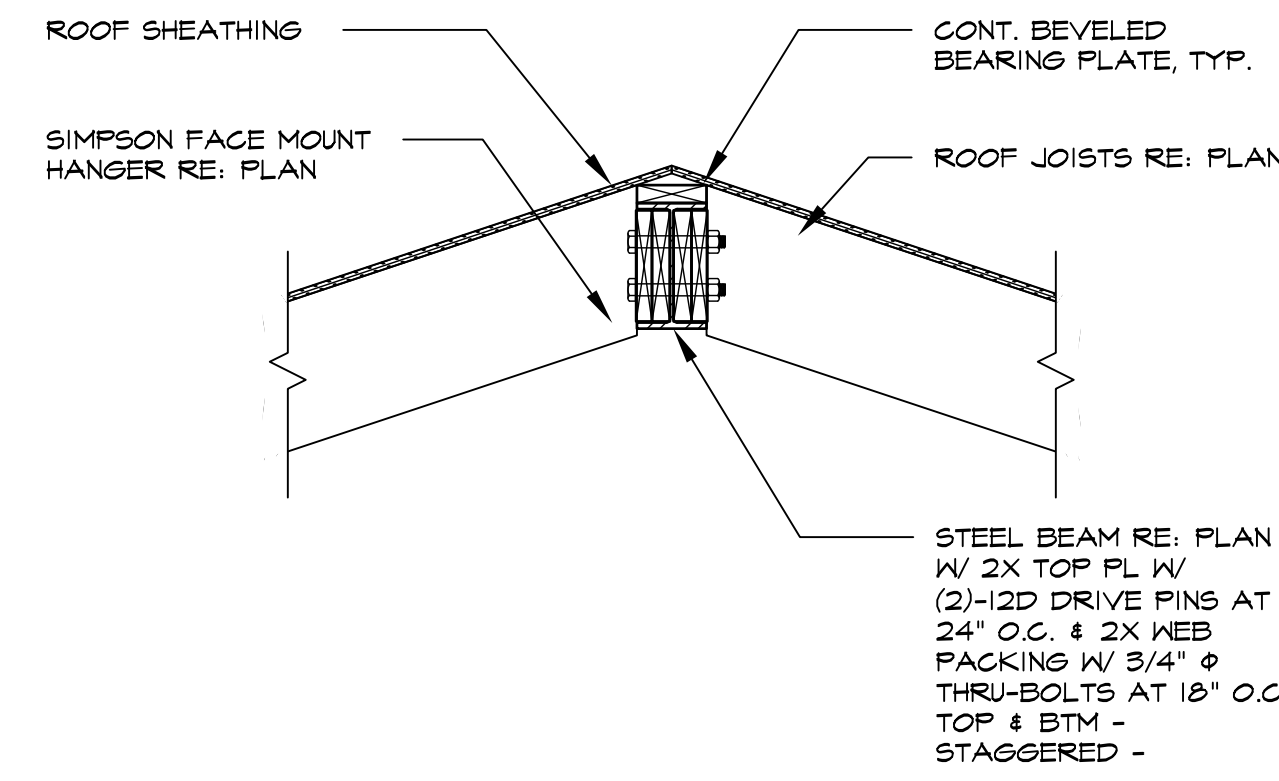
5 TYP. BEAM AT PITCH-  
S3.5 BREAK SCALE = N.T.S.



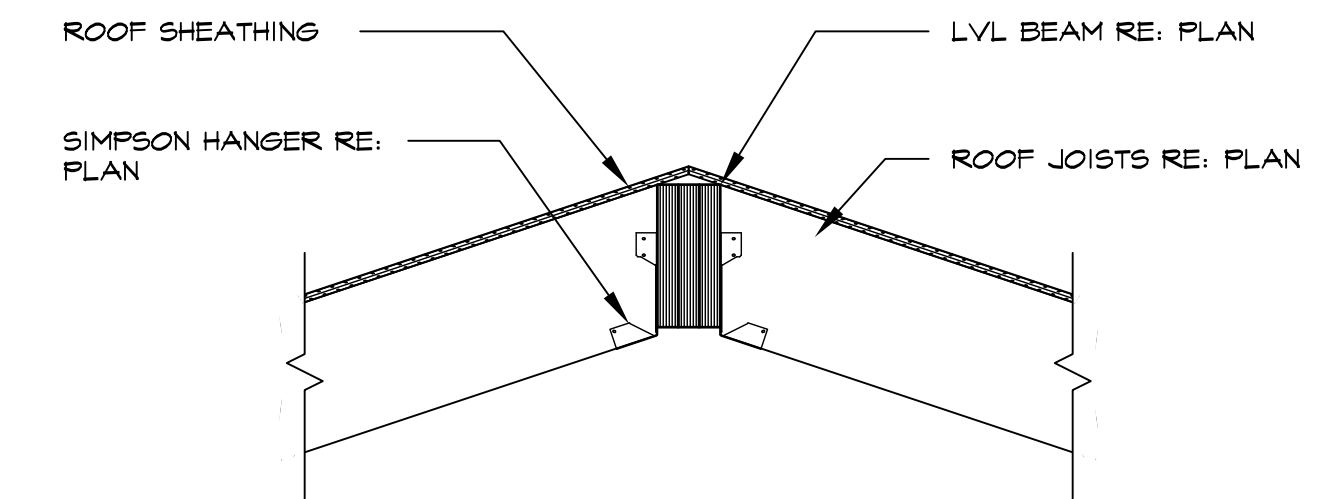
1 TYP. ROOF AT WALL  
S3.5 SCALE = N.T.S.



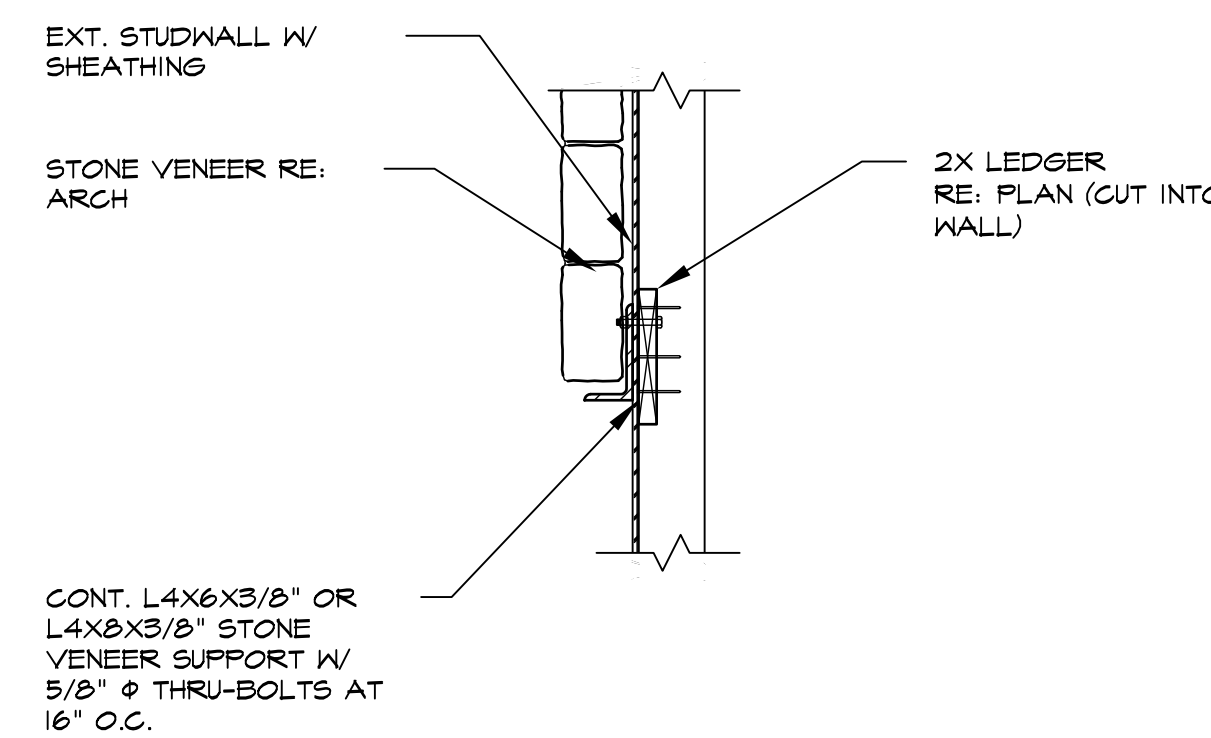
10 TYP. ROOF AT WALL  
S3.5 SCALE = N.T.S.



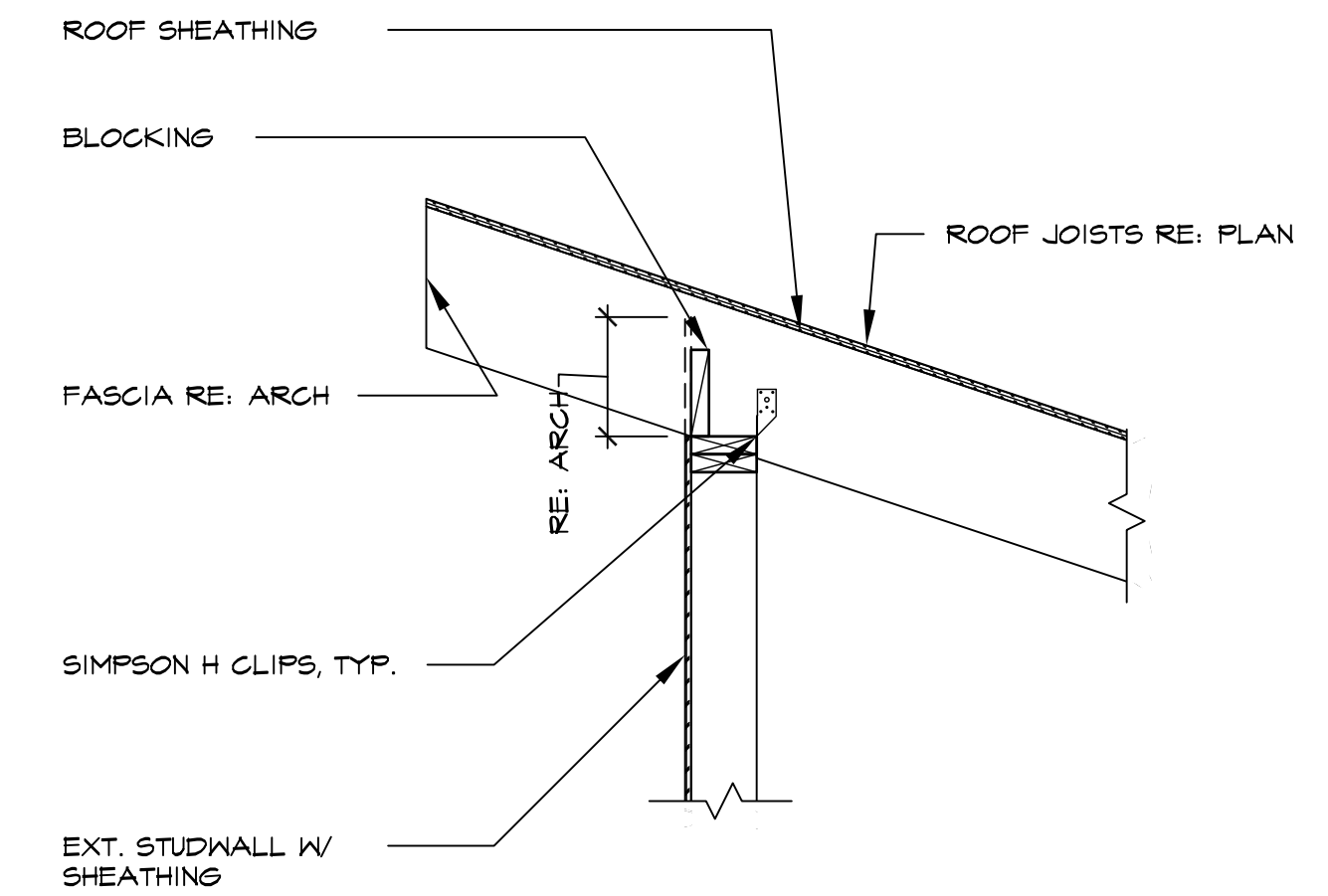
6 TYP. STL RIDGE BEAM  
S3.5 SCALE = N.T.S.



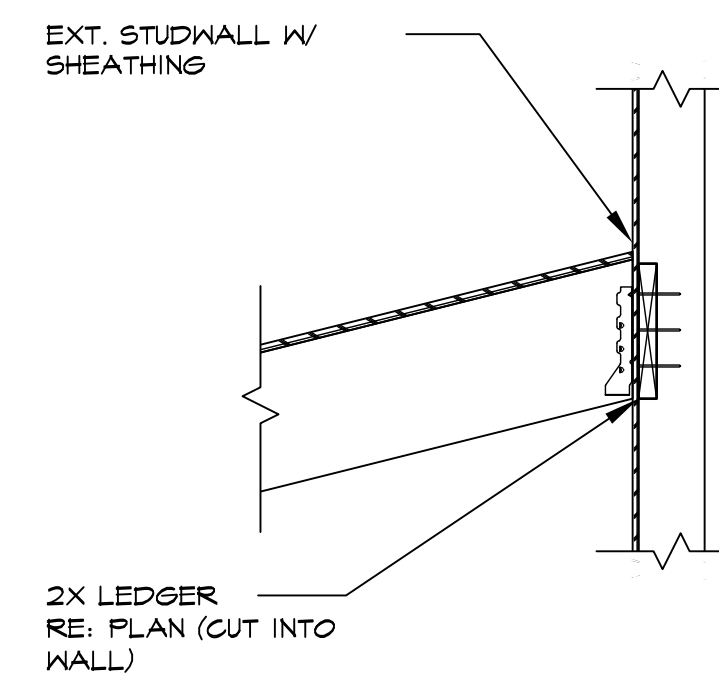
2 TYP. LVL RIDGE BEAM  
S3.5 SCALE = N.T.S.



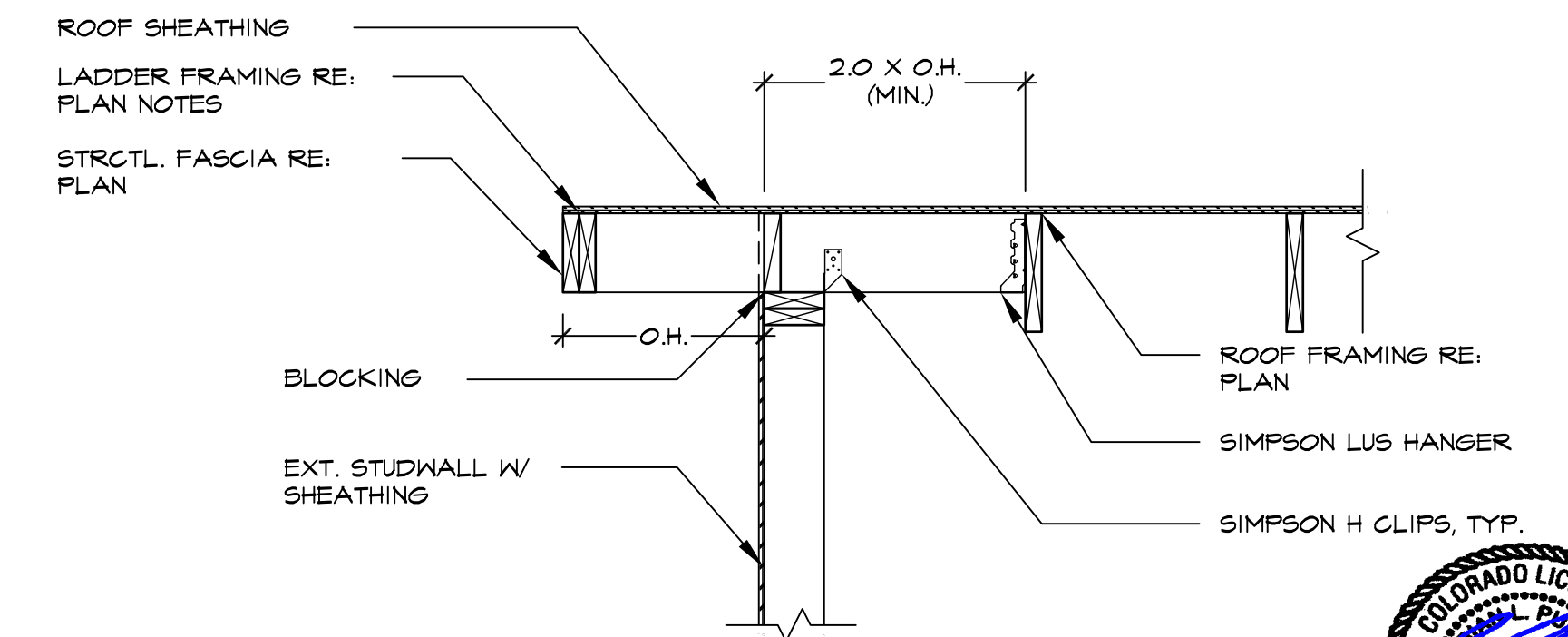
7 TYP. STONE VENEER  
S3.5 LEDGER AT WALL SCALE = N.T.S.



3 TYP. ROOF AT WALL  
S3.5 SCALE = N.T.S.



8 TYP. ROOF LEDGER AT  
S3.5 WALL SCALE = N.T.S.



4 TYP. LADDER FRAMING  
S3.5 SCALE = N.T.S.

**bpse**  
STRUCTURAL DESIGNS  
PO BOX 8007  
AVON, CO 81620  
PH: 970-331-6740  
FAX: 1-888-562-4685  
INFO@BPSE.NET  
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VAIL, CO

ROOF DETAILS		ISSUED FOR PERMIT REVIEW	DATE	ISSUE/REVISION
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PROJECT: 1476  
STRT DT: 6/2019  
DRWN BY: FJP

SHEET  
S3.5

